

May 16, 2016

Millington Planning Commission

6:00 PM

Agenda

1. Call To Order And Establishment Of A Quorum
2. Approval Of Minutes

- June, July, August 2013
- December 2014
- October 2015
- April 2016

Documents: [MINUTES JULY-AUG 2013, DEC 2014, OCT 2015, APRIL 2016.PDF](#)

3. Sign Permits

- Dowden Power Sports – 7705 Highway 51 N
- Los Reyes – 7712 Highway 51 N

Documents: [SIGN PERMIT - DOWDEN POWERSPORTS.PDF](#), [SIGN PERMIT - LOS REYES.PDF](#)

4. Site Plan Approval

- Hardee's 8523 Highway 51 N

Documents: [HARDEES SITE PLANS.PDF](#), [HARDEES SITE PLAN APPROVAL APP.PDF](#)

5. Other Business
6. Adjourn

***No Planning Commission Meeting for June 2013.

MILLINGTON PLANNING COMMISSION - MINUTES
CITY HALL CHAMBERS – 7930 NELSON
July 15, 2013 – 6:00 PM

Due to illness, death, and employee changes, there are no notes or tapes for the July 15, 2013 Meeting. Below is the posted agenda along with remarks from Chairman Dianne Baker to the best of her knowledge.

CALL TO ORDER AND ESTABLISHMENT OF A QUORUM

Approval of Minutes

May 20, 2013. Approved.

Shelby Mall – Subdivision Plat. Approved.

Site Plan

Carey's Body Shop. Building additional bays in the back of shop; Approved.

Discussion – Proposed Sale of Industrial Development Board Property

Sign Permits

Ritter Communications – 4880 Navy Rd. Approved.

Phillips Mechanical – 4805 Cuba-Millington Road. Approved.

Atomic Graphics – 4765 Cuba-Millington Road. Approved.

Mandatory Swagg Barber Shop – 7750 Highway 51. Approved.

OTHER BUSINESS (as necessary)

ADJOURNMENT

**No agenda, minutes, notes or recordings are available for August 2013.

These minutes are approved as of May 16, 2016.

Diane Baker, Chairman

Karen Findley, City Clerk

MILLINGTON PLANNING COMMISSION - MINUTES
CITY HALL CHAMBERS – 7930 NELSON
December 15, 2014 – 6:00 PM

Due to illness, death, and employee changes, there are no notes or tapes for the December 15, 2014 meeting. Below is the posted agenda along with remarks from Chairman Dianne Baker to the best of her knowledge.

CALL TO ORDER AND ESTABLISHMENT OF A QUORUM

Approval of Minutes

September 2014. Approved.

November 2014. Approved

Sign Permits

JR Components – 7767 Church St. Approved.

Sport Clips – 8507 Highway 51 N Ste #106. Approved.

Tax Hughes Services – 8098 Highway 51 N. Approved.

Cheers of Millington – 7874 C Street. Approved.

Comments – Permitted Uses, Parking Reg., Veteran’s Pkwy Corridor Overlay Zone, District and Use Chart

OTHER BUSINESS (as necessary)

ADJOURNMENT

These minutes are approved as of May 16, 2016.

Diane Baker, Chairman

Karen Findley, City Clerk

MILLINGTON PLANNING COMMISSION - MINUTES
CITY HALL CHAMBERS -- 7930 NELSON
October 19, 2015

CALL TO ORDER AND ESTABLISHMENT OF A QUORUM

Chairman Dianne Baker called the meeting to order and asked for roll call to establish a quorum.

Present:

Dianne Baker, Chairman
Leanna Dagen
Brenda Barber
Jeremy Marcello
Alderman Mike Caruthers

Absent:

Mayor Terry Jones
Tim Bierdz
J.R. Aitken, Ad Hoc

Ms. Barber led those present in prayer.

A quorum being present, the following proceedings were held:

Approval of Minutes

August 17, 2015. Motion by Mr. Caruthers; second by Ms. Dagen; unanimous vote to approve

September 21, 2015. Motion by Mr. Caruthers; second by Mr. Marcello; unanimous vote to approve.

Sign Permits

UPS Store -- 8510 Wilkinsville Rd, Ste #110. Staff recommends approval; motion by Ms. Dagen; second by Ms. Barber; unanimous vote to approve.

Papa Murphy's -- 8390 Highway 51 N, #106. Staff recommends approval; motion by Mr. Caruthers; second by Ms. Barber; unanimous vote to approve.

745-CASH -- 7874 Highway 51 N. Staff recommends approval. Motion by Mr. Caruthers; second by Ms. Dagen; unanimous vote to approve.

Site Plan

745-CASH – 7874 Highway 51 N. Staff recommends approval with the requirement of closing the west curb cut on Navy Rd; motion by Mr. Caruthers to approve minus the landscaping requirement, second by Ms. Dagen; unanimous vote to approve.

Street Block Naming Committee

The Street Block Naming Committee would like to honor Bishop Roger Christopher by renaming Greenhill Road, starting from its southern terminus at North End Road north to the intersection of West Union Road. The change would affect just the church and one house. Mr. Caruthers made a motion to accept the proposal and recommend to the Board of Mayor and Aldermen for final approval; Ms. Dagen seconded; unanimous vote to approve.

Zoning Map

Updates are needed to the zoning ordinance and maps. An official zoning map will need to be approved at a later date.

OTHER BUSINESS

Jason Dixon gave a brief update on Zaxby's.

ADJOURNMENT

There being no further business, the meeting was adjourned.

These minutes are approved as of May 16, 2016.

Diane Baker, Chairman

Karen Findley, City Clerk

MILLINGTON PLANNING COMMISSION - MINUTES
CITY HALL CHAMBERS – 7930 NELSON
April 18, 2016

CALL TO ORDER AND ESTABLISHMENT OF A QUORUM

Chairman Dianne Baker called the meeting to order at 6:00 pm and asked for roll call to establish a quorum.

Present:

Dianne Baker, Chairman
Mayor Terry Jones
Alderman Mike Caruthers
Leanna Dagen
Tim Bierdz

Absent:

Brenda Barber
Jeremy Marcello
J.R. Aitken, Ad Hoc

Mr. Bierdz led those present in prayer.

A quorum being present, the following proceedings were held:

Approval of Minutes

November 16, 2015. Motion by Mr. Caruthers; second by Mr. Bierdz; unanimous vote to approve.

February 15, 2016. Motion by Mr. Bierdz; second by Ms. Dagen; unanimous vote to approve.

March 21, 2016. Motion by Mr. Bierdz; second by Mr. Caruthers; unanimous vote to approve.

Application for Rezoning from O, Office to B-1, Neighborhood Residential

Parcels M011500605 and M011500604. The owners of these parcels previously requested changing the zoning to B-2, but by recommendation from the Planning Commission, they have changed their request to B-1. There had been discussion about closing the alley entrance from Bland Avenue, but that is not going to happen. Mayor Jones mentioned that several residents he spoke with had been opposed with the B-2 proposed change but had no issues with rezoning to B-1. Mr. Caruthers made motion to approve the zoning change, and Ms. Dagen seconded. The rezoning was approved by unanimous vote.

Site Plan Approval

Dominican Christian Church Center. This item was removed from the agenda. Pastor Hardaway is going to purchase the property, and has been given a letter stating the zoning and permitted use of for R-4, places of worship. The Commission recommended that he hires an engineer to help with the site plans.

Application for Road Closure

This item was carried over from the March 21, 2016 meeting. A survey has been done of the property. Per staff, when a road is closed, the property reverts to the adjacent owners on each side which would be West Canaan Missionary Baptist Church. Staff recommendation is to proceed with the road closure and revert the property currently owned by the City back to the church. Ms. Dagen made motion to approve, and Mr. Bierdz seconded. Motion was passed by unanimous vote with the condition that the house is torn down within the next six months. Jason Dixon was asked to follow up the surveyor to correct discrepancies between the assessors' map and the current survey.

OTHER BUSINESS

Ms. Baker asked Mr. Goforth if he has scheduled any training. He said he would try to get something scheduled. Mr. Goforth also mentioned that the Lucy zoning changes should be brought to the Commission in May.

ADJOURNMENT

There being no further business, Mr. Bierdz made a motion and the meeting was adjourned at 6:39 pm.

These minutes are approved as of May 16, 2016.

Diane Baker, Chairman

Karen Findley, City Clerk

City of Millington

SIGN PERMIT APPLICATION

NO WORK MAY BEGIN UNTIL PERMIT HAS BEEN ISSUED.
(FAILURE TO COMPLY WILL RESULT IN DOUBLED PERMIT FEE.)

DATE: 5/5/2016

OWNER OF SIGN:

FEE: \$ 50.00

BUSINESS NAME: DOWDEN POWERSPORTS
CONTACT NAME: JOSHUA E DOWDEN
PARCEL ADDRESS: 7705 US HWY 51 N MILLINGTON, TN. 38053
PHONE #: 901-873-2914 **FAX #:** 901-873-2916

PARCEL OWNER	NAME	SIGN CONTRACTOR
MAILE PROPERTIES, A DIV OF J.T. EDWARDS & CO LLC	CONTACT NAME	PATTISON SIGN GROUP
<u>JOSHUA E DOWDEN</u>	ADDRESS	<u>RYAN SCHMIT</u>
<u>6165 BRUNSWICK RD</u>	CITY, ST., ZIP	<u>120 - 7885 North Fraser Way</u>
<u>ARLINGTON, TN 38002</u>	PHONE #	<u>Burnaby, BC, V5J 5M7, Canada</u>
<u>901-829-5529</u>	FAX #	<u>604.215.5526</u>
<u>N/A</u>	MILL. BUSS. LIC.	<u>604.215.0696</u>
<u>160001242</u>		

PERMIT INFO: ZONE: _____ STORE or PARCEL FRONT FOOTAGE: 86'
CURRENT SIGN: 1' X 6' VINYL SIGN (CRACKED AND WEATHERED)
PROPOSED SIGN: 3' X 15' CABINET-STYLE SIGN, ILLUMINATED (SEE ATTACHED)

CURRENT SIGN AREA: 6 SQ/FT X 2 SQ. FT. **TOTAL SIGN AREA:** 90 SQ. FT.
PROPOSED SIGN AREA: 45 SQ/FT X 2 SQ. FT. **SQ. FT. ALLOWED:** 140 SQ. FT.

DIMENSIONS OF SIGN: 3' X 15' ILLUMINATED
DESCRIPTION OF SIGN: CABINET-STYLE BRP CAN AM BRANDED SIGNAGE

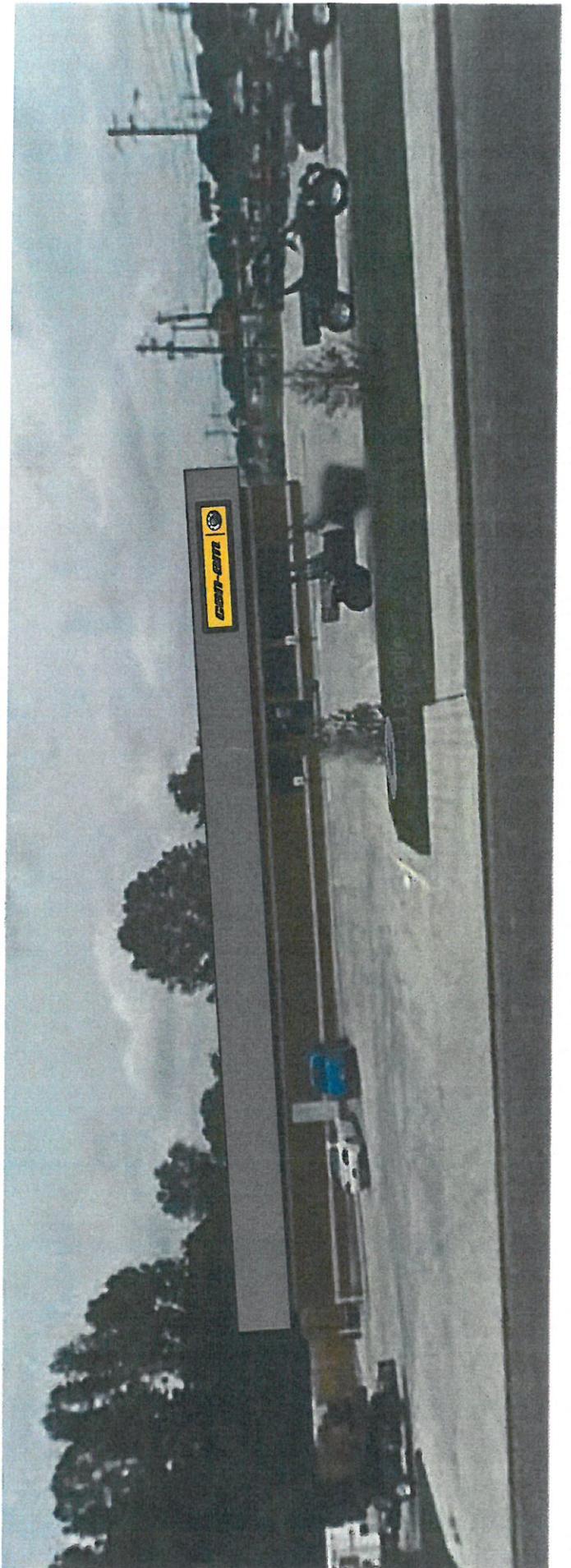
DRAWING SUBMITTED WITH APPLICATION (SCALE 1"= 10 FEET)

I am aware and in agreement with the application for the above requested sign. I am aware that the responsibility for conformance with the provisions of the Millington Zoning Ordinance shall revert to me if the applicant should no longer be located at the above address. This responsibility may include removal of the sign as required by the zoning ordinance.

SIGNATURE OF OWNER OF SIGN: _____

SIGNATURE OF OWNER OF PREMISES
WHERE SIGN IS LOCATED: _____
(Property Owner or Authorized Agent)

APPLICATION APPROVED BY _____ DATE _____



3' X 15' ILLUMINATED SIGN



City of Millington
SIGN PERMIT APPLICATION

\$1.00 Per Square Foot
Permit fee - Minimum \$50.00

NO WORK MAY BEGIN UNTIL PERMIT HAS BEEN ISSUED.
(FAILURE TO COMPLY WILL RESULT IN DOUBLED PERMIT FEE.)

DATE: 5/12/2016

FEE: \$50.00

OWNER OF SIGN:

BUSINESS NAME: Los Reyes Mexican Resturant

CONTACT NAME: Jose Reyes, Sr.

PARCEL ADDRESS: 7712 US HWY 51, Millington, TN 38053 MILLINGTON, TN. 38053

PHONE #: 901-873-2200 FAX #: 901-774-7746

PARCEL OWNER

Los Reyes Mexican Resturant
Jose Reyes
7712 hwy 51
Millington, TN 38053
901-873-2200
901-774-7746

NAME
CONTACT NAME
ADDRESS
CITY, ST., ZIP
PHONE #
FAX #
MILL. BUSS. LIC.

SIGN CONTRACTOR

Peck Signs Specktacular Graphics, Co.
Scott Peck
1558 Texas Street
Memphis, TN 38106
901-774-7747
901-774-7746
2016 11931

PERMIT INFO: ZONE: Commercial/ B2 STORE or PARCEL FRONT FOOTAGE:

CURRENT SIGN: Los Reyes Mexican Resturant

PROPOSED SIGN: Los Reyes Mexican Grill

CURRENT SIGN AREA: 27 SQ. FT. TOTAL SIGN AREA: 27 SQ. FT.
PROPOSED SIGN AREA: 27 SQ. FT. SQ. FT. ALLOWED: 82.5 SQ. FT.

DIMENSIONS OF SIGN: " Los Reyes " 24" tall and " Mexican Grill " 16" tall

DESCRIPTION OF SIGN: open faced channel letters with neon and clear faces mounted on raceway

DRAWING SUBMITTED WITH APPLICATION (SCALE 1"= 10 FEET)

I am aware and in agreement with the application for the above requested sign. I am aware that the responsibility for conformance with the provisions of the Millington Zoning Ordinance shall revert to me if the applicant should no longer be located at the above address. This responsibility may include removal of the sign as required by the zoning ordinance.

SIGNATURE OF OWNER OF SIGN: *Jennife Reyes*

SIGNATURE OF OWNER OF PREMISES WHERE SIGN IS LOCATED: *Jennife Reyes*
(Property Owner or Authorized Agent)

APPLICATION APPROVED BY _____ DATE _____



24" "LOS REYES"
 16" "MEXICAN GRILL"
 OPEN FACE CHANNEL
 LETTERS WITH NEON
 AND CLEAR FACES
 MOUNTED ON RACEWAY

NOTE TO CLIENT

THIS IS AN ORIGINAL UNPUBLISHED DRAWING OWNED BY PECK SIGN CO. INC. IT IS PROVIDED FOR YOUR PERSONAL USE IN CONNECTION WITH A SPECIFIC PROJECT UNDER CONSIDERATION FOR YOU BY PECK SIGN CO. INC. IT IS NOT TO BE SHOWN OR DISTRIBUTED TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE REPRODUCED, COPIED, EXHIBITED OR DISTRIBUTED IN ANY FORM OR MANNER.



CLIENT

LOS REYES

DESCRIPTION

MILLINGTON

DRAWN BY

DRAWING NAME

SCALE N.T.S.

DATE

PLEASE NOTE: ALL PRINTED COLORS ARE REPRESENTATIONS OF THE INDICATED SPECIFICATIONS, AND MAY NOT BE AN EXACT MATCH TO ACTUAL COLORS USED.



8523 N. HIGHWAY 51
MILLINGTON, TENNESSEE

PLAN INDEX:

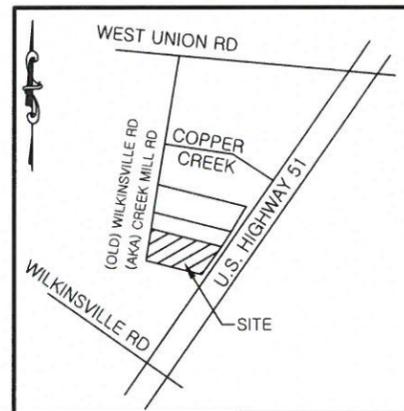
- C0 COVER SHEET
- C1 DEMOLITION PLAN
- C2 SITE PLAN
- C3 GRADING PLAN
- C4 EROSION CONTROL PLAN PHASE 1
- C5 EROSION CONTROL PLAN PHASE 2
- C6 UTILITY PLAN
- C7 LANDSCAPE PLAN
- C8 LANDSCAPE NOTES
- C9 IRRIGATION PLAN (NOT IN THIS SUBMITTAL)
- C10 DETAIL SHEET I
- C11 DETAIL SHEET II
- C12 DETAIL SHEET III
- C13 TN DOT DETAIL SHEET I
- C14 TN DOT DETAIL SHEET II
- C15 TN DOT DETAIL SHEET III
- C16 TN DOT DETAIL SHEET IV
- C17 TN DOT DETAIL SHEET V

ASSOCIATED PLANS

- SURVEY
- PHOTOMETRIC

RESOURCE LIST:

- PLANNING / ZONING**
DAREK BASKIN
4838 NAVY RD
MILLINGTON, TN 38053
PHONE: 901-872-3410 EX 215
FAX: 901-872-3141
EMAIL: DBASKIN@MILLOPED.COM
- SIGNAGE**
DAREK BASKIN
4838 NAVY RD
MILLINGTON, TN 38053
PHONE: 901-872-3410 EX 215
FAX: 901-872-3141
EMAIL: DBASKIN@MILLOPED.COM
- DEMOLITION**
DIANE PIERCE
PHONE: 901-222-8213
EMAIL: DIANE.PIERCE@SHELBYCOUNTY.COM
- BUILDING DEPARTMENT**
DAREK BASKIN
4838 NAVY RD
MILLINGTON, TN 38053
PHONE: 901-872-3410 EX 215
FAX: 901-872-3141
EMAIL: DBASKIN@MILLOPED.COM
- ENGINEERING/PUBLIC WORKS**
DAREK BASKIN
4838 NAVY RD
MILLINGTON, TN 38053
PHONE: 901-872-3410 EX 215
FAX: 901-872-3141
EMAIL: DBASKIN@MILLOPED.COM
- FIRE DEPARTMENT**
GARY GRAVES
4838 NAVY ROAD STE. 1
MILLINGTON, TN 38053
PHONE: 901-872-7851
FAX: 901-873-3788
EMAIL: G.GRAVES@MILLINGTONTN.GOV
- HEALTH DEPARTMENT**
SHELBY COUNTY HEALTH DEPARTMENT
814 JEFFERSON AVENUE
MEMPHIS, TN 38105
PHONE: 901-222-9213
EMAIL: TEHILL@MLGW.ORG
- STORMWATER**
CITY OF MILLINGTON
DAREK BASKIN
4838 NAVY RD
MILLINGTON, TN 38053
PHONE: 901-872-3410 EX 215
FAX: 901-872-3141
EMAIL: DBASKIN@MILLOPED.COM
- TODT MEMPHIS OFFICE**
STEVE R OWENS
PHONE: 901-371-3000
EMAIL: STEVE.A.OWENS@TN.GOV
- TODT JACKSON OFFICE**
JASON MOODY
PHONE: 731-935-0183
EMAIL: JASON.D.MOODY@TN.GOV
- TRASH**
CITY OF MILLINGTON
RUDNEY STANBACK
4701 BLOOM AVE.
MILLINGTON, TN 38053
PHONE: 901-873-5668
FAX: 901-873-5668
EMAIL: RSTANBACK@CITYOFMILLINGTON.ORG
- TELEPHONE**
BITTER COMMUNICATIONS
DARRIOUS LUFFIN
4895 NAVY ROAD
MILLINGTON, TN 38053
PHONE: 870-336-3518
FAX: 870-336-3518
EMAIL: DARRIOUS.LUFFIN@BITTERCOMMUNICATIONS.COM
- WATER**
CITY OF MILLINGTON
JIMMY BLACK
14731 JACK HUFFMAN BLVD.
MILLINGTON, TN 38053
PHONE: 901-486-3308
FAX: 901-873-5668
EMAIL: J.BLACK@MILLINGTONTN.GOV
- SANITARY SEWER**
CITY OF MILLINGTON
JIMMY BLACK
14731 JACK HUFFMAN BLVD.
MILLINGTON, TN 38053
PHONE: 901-486-3308
FAX: 901-873-5668
EMAIL: J.BLACK@MILLINGTONTN.GOV
- WATER**
THOMAS CAUSEY
222 SOUTH MAIN STREET
MEMPHIS, TN 38103
PHONE: 901-320-1573
EMAIL: TCAUSEY@MLGW.ORG



Vicinity Map

Not to Scale

DEVELOPER:
DAVID HITCHENSON
SADDLE PEAK, LLC
P.O. BOX 7971
MADISON, WI 53707
PH: (608) 310-1318

CEI CONTACT:
CRI ENGINEERING
3108 SW REGENCY PARKWAY, SUITE 2
BENTONVILLE, AR 72712
JAIMIE KEMP
PH: 479-273-9472



GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
PITTMAN SURVEYING
P.O. BOX 1218
MADISON, TN 38058
PHONE: 901-837-0282
CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED HARDEE'S SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **WARRANTY/DISCLAIMER:** THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTINUOUS BASIS AT THE SITE.
- G. **SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION DISRUPTION BY THE ENGINEER OR THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. **WETLANDS NOTE:** ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. **RESIDENT ENGINEERING SERVICES:** WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS ON A TIME AND FREQUENCY BASIS ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCE AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.
- K. ADDITIONAL PROJECT INFORMATION HAS BEEN APPROVED BY THE FOLLOWING SUBCONSULTANTS AS CONTRACTORS TO THE OWNER:

GEOTECHNICAL:
GEOSERVICES, LLC
163 BUSINESS PARK DRIVE, SUITE 15
LEBANON, TN 37087
PHONE: 615-547-9314
CONTACT: STEVEN FOX

FLOOD CERTIFICATION:

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA ACCORDING TO FIRM MAP NUMBER 47157C0180G, MAP REVISED FEBRUARY 6, 2013. THIS PROPERTY LIES IN ZONE X.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION MANAGER AT 608 310-1318. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

FOR PERMIT
AND BID ONLY
NOT FOR
CONSTRUCTION

JOB NO: 28638	
DWG NAME: 28638-Prop	
DATE 5/8/16	SHEET NO. C0
TIME 1:48 PM	
REV-2	

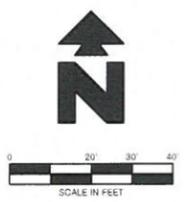
Arkansas * California * Minnesota * Pennsylvania * Texas

& PARCEL III
CENTERLINE
ST UNION RD

LOT 2
139,527.40 Sq. Ft.
3.20 acres

SITE BENCHMARK
CONTRACTOR TO SET TEMPORARY BENCHMARK
PRIOR TO START OF CONSTRUCTION
TEMPORARY BENCHMARK
36" SANITARY SEWER MANHOLE
ELEV. 289.49

PARKING RATIO			
	BUILDING SQ.FT.	REQUIRED	PROVIDED
HARDEE'S RESTAURANT	2,565 SF	17 SPACES	48 SPACES
ACCESSIBLE PARKING			
VAN PARKING	1	REQUIRED	1 PROVIDED
ACCESSIBLE PARKING	1	REQUIRED	1 PROVIDED
TOTAL	2	REQUIRED	2 PROVIDED



**Know what's below.
Call before you dig.**

CEI Engineering Associates, Inc.
ENGINEERS PLANNERS SURVEYORS
LANDSCAPE ARCHITECTS ENVIRONMENTAL SCIENTISTS
3108 S.W. REGENCY PARKWAY, SUITE 2
BENTONVILLE, AR 72712
(479) 273-9472
FAX (479) 273-0844



EXISTING LEGEND

- IRON STAKE (NEW)
- IRON STAKE (OLD)
- POWER POLE
- FENCE
- OVERHEAD UTILITY LINE
- APPROXIMATE LOCATION SANITARY SEWER LINE
- APPROXIMATE LOCATION WATER LINE
- APPROXIMATE LOCATION GAS LINE
- ⊗ GAS METER OR VALVE
- ⊗ FIRE HYDRANT
- ⊗ WATER METER
- ⊗ ELECTRIC METER
- ⊗ DRAIN MANHOLE
- ⊗ SEWER MANHOLE
- ⊗ SEWER CLEANOUT
- ⊗ LIGHT POLE
- ⊗ HANDICAP SPACE

PROPOSED

- PROPERTY LINE / RIGHT-OF-WAY LINE
- CONCRETE CURB AND GUTTER
SEE DETAIL 01A/01B
- BUILDING CONTROL POINT
- PROPOSED PARKING SPACES
- ▨ LIMITS OF SIDEWALKS

GENERAL SITE NOTES

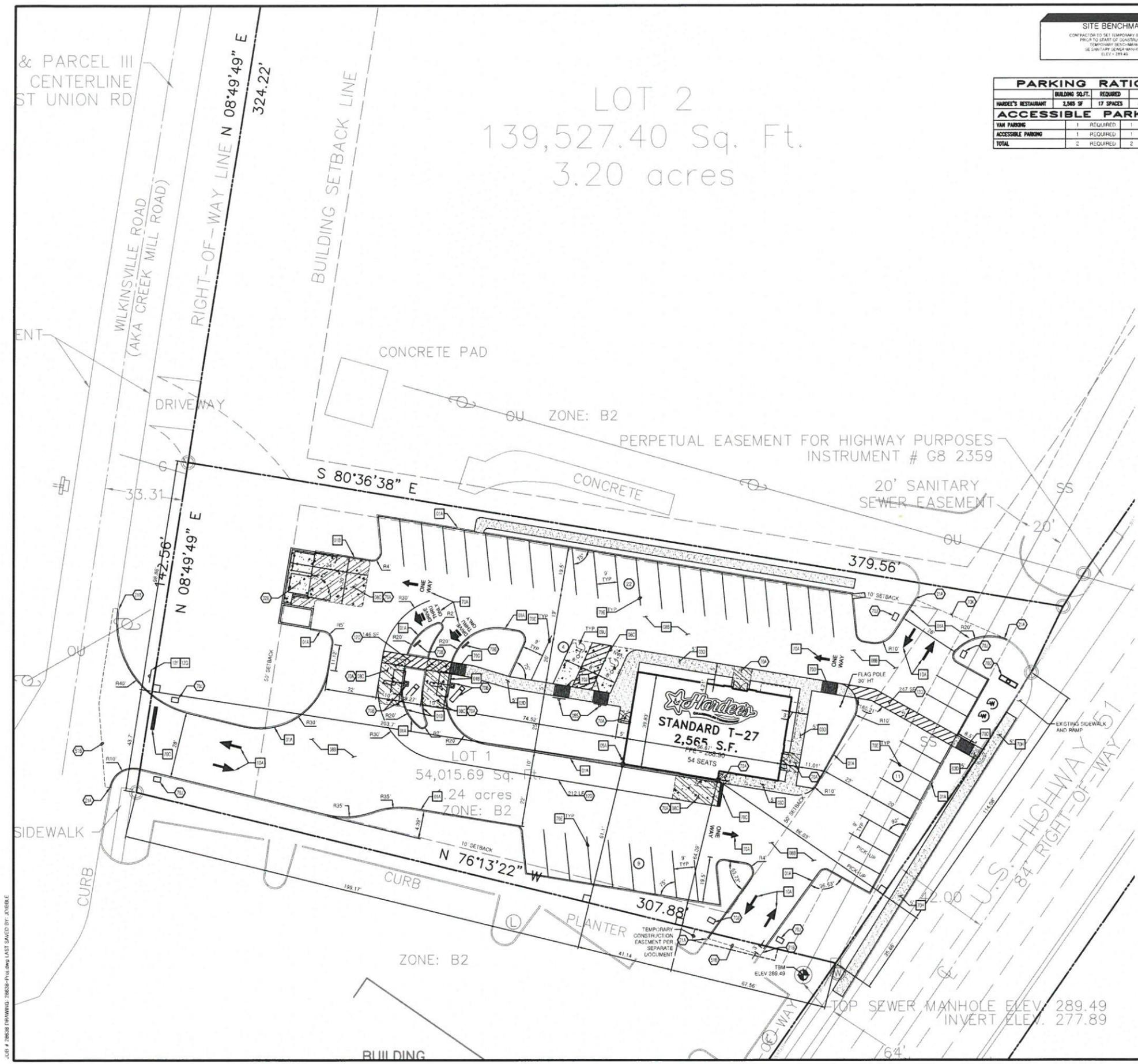
- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- B. ALL CURB RETURN RADI SHALL BE 3' AS SHOWN TYPICAL ON THIS PLAN. UNLESS OTHERWISE NOTED.
- C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS, CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1B. CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 1A. PAVEMENT IN THE PARKING AREAS SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 8B. PAVEMENT IN DUMPSTER AREA SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 8C. ALL PARKING LOT STRIPINGS INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 70E.
- D. CONTRACTOR TO INSTALL EXPANSION JOINT EVERY 60' PER DETAIL 8R AND SAW CUT CONTROL JOINT EVERY 15' FOR 5' PAVEMENT & 18' FOR 6' CONCRETE PAVEMENT PER DETAIL 8R.
- E. ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER HARDEE'S STANDARD DETAILS.

SITE NOTES

- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS)
- 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
- 12A 4 INCH TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
- 12D 4 INCH WIDE PAINTED YELLOW STRIPE, 2.0 FOOT U.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL)
- 21A TAPER CURB TO MATCH EXISTING CURB
- 21B TAPER CURB FROM 6 INCHES TO 0 INCHES OVER 2 FEET
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- 70A CONCRETE PAVING SHALL BE TINTED AND SEALED. SOLOMONS COLOR, SCS INTEGRAL COLOR #920 BLACK CNTX-1 SHALL BE USED AT A RATE OF 25LB BAG PER YARD OF CONCRETE. THE CONCRETE SEALER SHALL BE WR MEADOWS SEALER CS-309-30. 1 POUND OF CONCRETE DYE SHALL BE MIXED WITH EVERY 5 GALLONS OF SEALER.
- 70B DRIVE THRU MENU AND ORDER STATION (PER ARCH. PLANS)
- 70C Pylon SIGN (PER SIGN PLANS)
- 70E PAINTED 4 INCH WIDE YELLOW LETTERING FOR PICK-UP PARKING SPACES (PER DETAIL 70A)
- 70F FILL CAP WITH CONCRETE
- 70K LOCATION OF GATE
- 70L ADJACENT CURBING BASED ON PROPOSED ZABXY'S SITE DEVELOPMENT PLANS BY CARTER ENGINEERING CONSULTANTS, INC. DATED 07/14/2015. GENERAL CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL ELEVATIONS AND DETERMINE IF DESIRABLE. GENERAL CONTRACTOR TO CONTACT CEI ENGINEERING ASSOCIATES INC. IMMEDIATELY WITH ANY CONFLICT.
- 70J DIRECTIONAL SIGN (SEE SIGN PLANS)

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
- 01B TYPE B CONCRETE INTEGRAL CURB AND GUTTER
- 03C CONCRETE SIDEWALK
- 05A GUARD FREST
- 08B HEAVY DUTY ASPHALT PAVING
- 08C HEAVY DUTY CONCRETE PAVING
- 09U ACCESSIBLE PARKING SYMBOL (BLUE IN COLOR)
- 10A TRAFFIC FLOW ARROW
- 12F SIGN BASE
- 12G STOP SIGN
- 70A PAVEMENT MARKING W/ ARROW
- 70C STOP BAR (TYP)
- 70D WHEELCHAIR RAMP IN SIDEWALK
- 70E PARKING SPACE STRIPING
- 70K 18 IN DUTY SIDEWALK DETAIL (RP-S-7)
- 70J WHEEL CHAIR RAMP IN SIDEWALK



JOB # 28638 DRAWING: 28638-PLANS LAST SAVED BY: JIMBLE

Hardees
ARCHITECTURE AND ENGINEERING DEPT.
505 NORTH 7TH STREET, SUITE 2000
ST. LOUIS, MO 63101
PHONE: 314-259-6400

LOCATION: 8523 N. HIGHWAY 51
MILLINGTON
TN

BUILDING TYPE: T-27

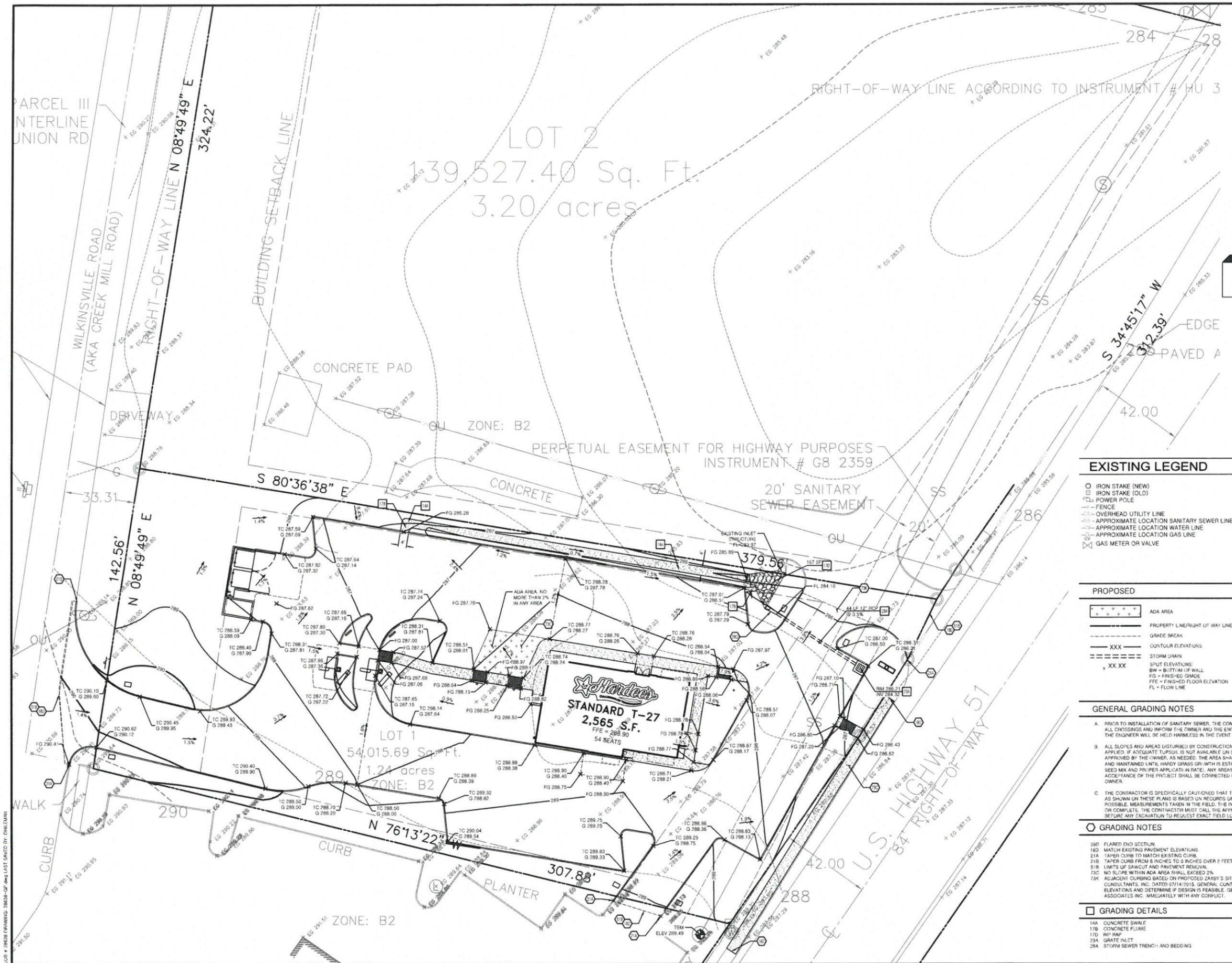
SHEET TITLE: SITE PLAN

DATE: 5/8/2016 REV # REV-2

TIME: 2:08 PM JOB # 28638

DRAWER: JDC SHEET NO. C2

DATE: 5/8/2016

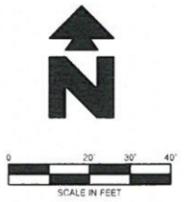


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(479)273-9472
FAX (479)273-0844



SITE BENCHMARK
CONTRACTOR TO SET TEMPORARY BENCHMARK
PRIOR TO START OF CONSTRUCTION
TEMPORARY BENCH-MARK
SEE SHEET 288-B-01 FOR BENCHMARK
ELEV = 786.49



EXISTING LEGEND

- IRON STAKE (NEW)
- IRON STAKE (OLD)
- ⊕ POWER POLE
- OVERHEAD UTILITY LINE
- APPROXIMATE LOCATION SANITARY SEWER LINE
- APPROXIMATE LOCATION WATER LINE
- APPROXIMATE LOCATION GAS LINE
- ⊗ GAS METER OR VALVE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ ELECTRIC METER
- ⊕ DRAIN MANHOLE
- ⊕ SEWER MANHOLE
- ⊕ SEWER CLEANOUT
- ⊕ LIGHT POLE
- ⊕ HANDICAP SPACE

PROPOSED

- ⊕ ADA AREA
- PROPERTY LINE/RIGHT OF WAY LINE
- GRADE BREAK
- XXX CONTOUR ELEVATIONS
- STORM DRAIN
- XX.XX SPOT ELEVATIONS:
BW = BOTTOM OF WALL
FG = FINISHED GRADE
FFE = FINISHED FLOOR ELEVATION
FL = FLOW LINE
- G = GUTTER
IW = INVERT
TC = TOP OF CURB
TW = TOP OF WALL

GENERAL GRADING NOTES

- A. PRIOR TO INSTALLATION OF SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

GRADING NOTES

- 39D FLARED END SECTION
- 18D MATCH EXISTING PAVEMENT ELEVATIONS
- 21A TAPER CURB TO MATCH EXISTING CURB
- 21B TAPER CURB FROM 8 INCHES TO 6 INCHES OVER 2 FEET
- 51B LIMITS OF SAKCUT AND PAVEMENT REMOVAL
- 73C NO SLOPE WITHIN ADA AREA SHALL EXCEED 2%
- 73K ADJACENT CURBING BASED ON PROPOSED ZAXBY'S SITE DEVELOPMENT PLANS BY CARTER ENGINEERING CONSULTANTS, INC. DATED 07/14/2015. GENERAL CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL ELEVATIONS AND DETERMINE IF DESIGN IS FEASIBLE. GENERAL CONTRACTOR TO CONTACT CEI ENGINEERING ASSOCIATES INC. IMMEDIATELY WITH ANY CONFLICT.

GRADING DETAILS

- 14A CONCRETE SWALE
- 17B CONCRETE FLUME
- 17D RIP RAP
- 23A GRATE INLET
- 28A STORM SEWER TRENCH AND BEDDING

REVISIONS

NO.	DATE	DESCRIPTION

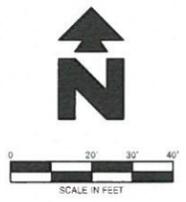
Hardees
ARCHITECTURE AND ENGINEERING DEPT.
505 NORTH 7TH STREET, SUITE 2000
ST. LOUIS, MO 63101
PHONE: 314-259-6400

LOCATION: 8523 N. HIGHWAY 51
MILLINGTON
TN

BUILDING TYPE: T-27
SHEET TITLE: GRADING PLAN
DATE: 5/8/2016 REV # REV-2
TIME: 2:44 PM JOB # 28838-07
DPCOR: JGG SHEET NO.
PME: JJK
DREV: JPS C3

JOB # 28838 DRAWING: 28838-GR-010 LAST SAVED BY: DHELEMAN

SITE BENCHMARK
 CONTRACTOR TO SET TEMPORARY BENCHMARK
 PRIOR TO START OF CONSTRUCTION
 TEMPORARY BENCHMARK
 25' SOUTHWEST CORNER LINDER
 GLE 4-288.48



811
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PLANT LIST

SYB	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
LE		3	LACEBARK ELM <i>Ulmus parvifolia</i> Drake	B&B	3.5' CAL. MIN.	SPACE AS SHOWN
WO		1	WILLOW (WAK) <i>Salix sp.</i>	B&B	3.5' CAL. MIN.	SPACE AS SHOWN
SM		2	SAUCER MAGNOLIA <i>Magnolia Soulei</i> Greene	B&B	2.5' CAL. MIN.	SPACE AS SHOWN
AJ		51	ANDROMEDA JUNIPER <i>Juniperus horizontalis</i>	CONT.	3 GAL.	PLANT AS SHOWN 18" HEIGHT
VP		28	VARIEGATED PRIVET <i>Ligustrum japonicum 'Variegatum'</i>	CONT.	3 GAL.	PLANT AS SHOWN 18" HEIGHT
LM		127	BIG BLUE LIROPE <i>Liriodendron muscicola 'Big Blue'</i>	CONT.	1 GAL.	PLANT AS SHOWN
LR		27	LITTLE RICHARD ABELIA <i>Abelia X grandiflora 'Little Richard'</i>	CONT.	1 GAL.	PLANT AS SHOWN
DM		8	DWARF MAIDEN HAIR <i>Miscanthus sinensis 'Adagio'</i>	CONT.	1 GAL.	PLANT AS SHOWN

EXISTING LEGEND

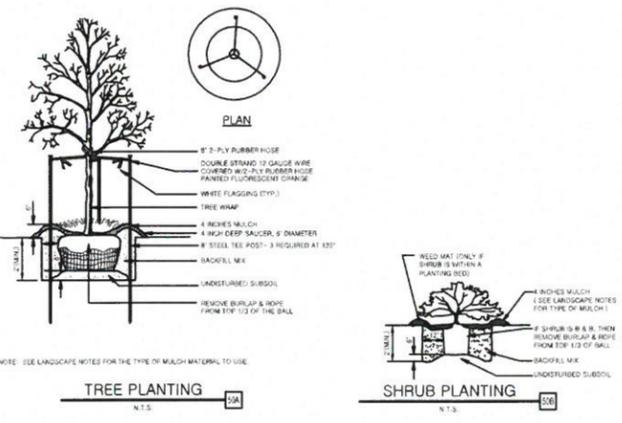
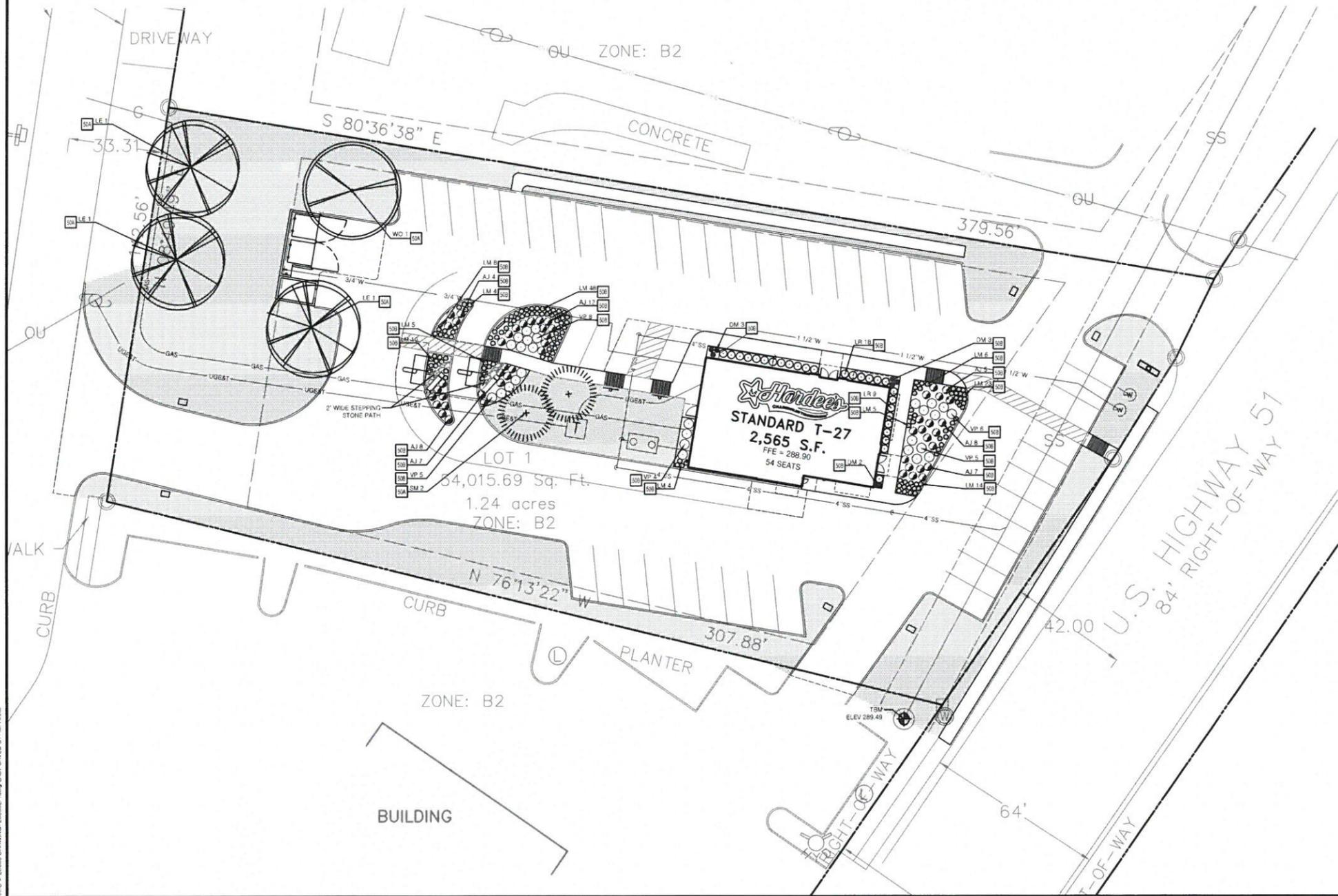
- IRON STAKE (NEW)
- ◻ IRON STAKE (OLD)
- POWER POLE
- FENCE
- OVERHEAD UTILITY LINE
- APPROXIMATE LOCATION SANITARY SEWER LINE
- APPROXIMATE LOCATION WATER LINE
- APPROXIMATE LOCATION GAS LINE
- ⊗ GAS METER OR VALVE
- PROPERTY LINE / RIGHT-OF-WAY LINE
- ⊗ FIRE HYDRANT
- ⊗ WATER METER
- ⊗ ELECTRIC METER
- ⊗ DRAIN MANHOLE
- ⊗ SEWER MANHOLE
- ⊗ SEWER CLEANOUT
- ⊗ LIGHT POLE
- ⊗ HANDICAP SPACE

PROPOSED

- PROPERTY LINE / RIGHT-OF-WAY LINE
- STORM DRAIN
- TURF TYPE KENTUCKY BLUE GRASS SOD
- TURF TYPE TALL FESCUE SOD
- 2'-3" RIVER ROCK
- TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

GENERAL LANDSCAPE NOTES

- A. REFER TO SHEET 06.2 FOR LANDSCAPE NOTES
- LANDSCAPE NOTES
- 50A STEEL EDGING
- LANDSCAPE DETAILS
- 50A TREE PLANTING
- 50B SHRUB PLANTING



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 (479) 273-9472
 FAX (479) 273-0844

REVISIONS

NO.	DATE	DESCRIPTION

Hardee's
 ARCHITECTURE AND ENGINEERING DEPT.
 505 NORTH 7TH STREET, SUITE 2000
 ST. LOUIS, MO 63101
 PHONE: 314-259-6400

LOCATION: 8523 N. HIGHWAY 51, MELLINGTON, TN

BUILDING TYPE: T-27

SHEET TITLE: LANDSCAPE

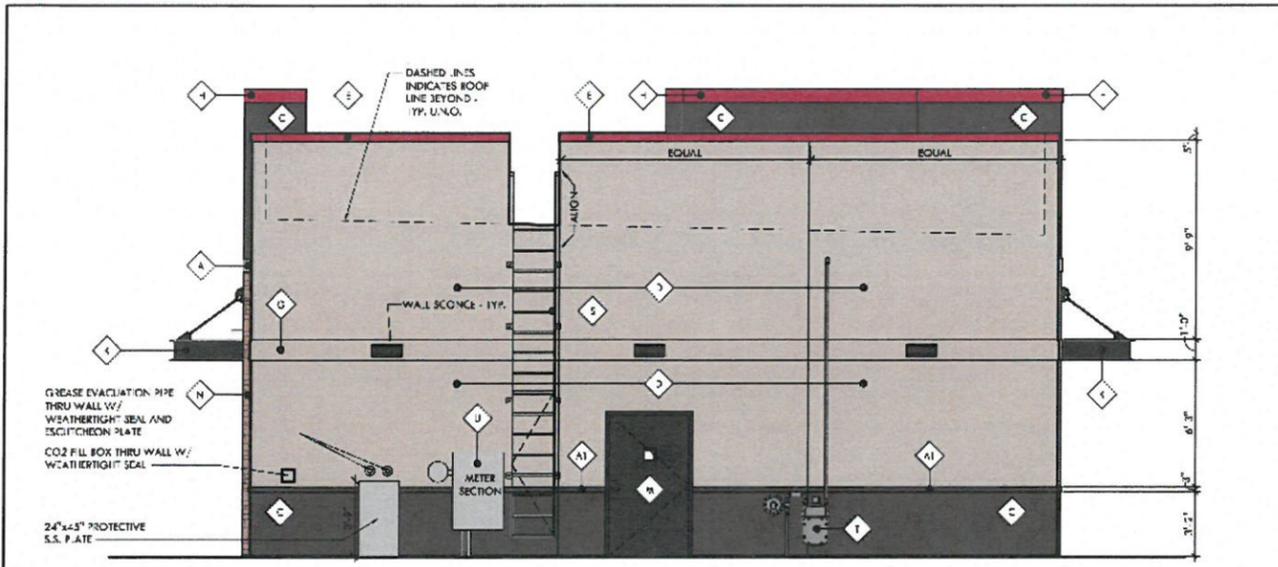
DATE: 5/8/2016 REV # REV-2

TIME: 12:08 PM JOB # 28838L

DRAWN: JDC SHEET NO. C7

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JOB # 28838 DRAWING: 28838L.DWG LAST SAVED BY: MPARKS



10 REAR ELEVATION
SCALE: 1/4" = 1'-0"

SYMBOL	MATERIAL	DESCRIPTION
A	3" E.L.F.S. TRIM BAND	FINE PEBBLE FINISH - SHERWIN WILLIAMS "DOVETAIL" #SW7018
A'	3" E.L.F.S. TRIM BAND	FINE PEBBLE FINISH - SHERWIN WILLIAMS "BLACK FOX" #SW7020
B	5" E.L.F.S. TRIM BAND	FINE PEBBLE FINISH - SHERWIN WILLIAMS "BALANCED BEIG" #SW7037
C	E.L.F.S.	FINE PEBBLE FINISH - SHERWIN WILLIAMS "BLACK FOX" #SW7020
D	E.L.F.S.	FINE PEBBLE FINISH - SHERWIN WILLIAMS "BALANCED BEIG" #SW7037
D'	F.L.F.S.	FINE PEBBLE FINISH - SHERWIN WILLIAMS "DOVETAIL" #SW7018
E	PARAPET CAP	5" 22 GAUGE GALVANIZED STEEL TRIM BY CENTRA - BRILLIANT SERIES
F	STOREFRONT WINDOWS AND DOORS	BRONZE ANODIZED WITH 1" CLEAR INSULATED GLAZING ALUMINUM FRAME - KAWNEER 500 R SERIES STOREFRONT SYSTEM WITH PANIC PUSH BAR HARDWARE ENGAGING AT LATCH LEVEL
G	12" E.L.F.S. TRIM BAND	FINE PEBBLE FINISH - SHERWIN WILLIAMS "BALANCED BEIG" #SW7037
G'	12" E.L.F.S. TRIM BAND	FINE PEBBLE FINISH - SHERWIN WILLIAMS "DOVETAIL" #SW7018
H	12" E.L.F.S. TRIM BAND	FINE PEBBLE FINISH - SHERWIN WILLIAMS "BLACK FOX" #SW7020
I	PARAPET CAP	8" 22 GAUGE GALVANIZED STEEL TRIM BY CENTRA - BRILLIANT SERIES
J	AWNING	PREFINISHED RED ALUMINUM SLAB AWNINGS WITH TWO RED LED BARS (EXPOSED BAR FINISH TO BE BLACK)
K	CANOPY	STEEL CANOPY WITH SOLID SKINNED TOP - PROVIDED AND INSTALLED BY AWNING MFG. - LOCATED ABOVE ENTRY WAYS AND DRIVE THRU WINDOW
L	EXTERIOR COLUMN WRAP	24" GAUGE ALUMINUM - COLOR TO MATCH ALUMINUM STOREFRONT
M	KITCHEN ACCESS DOOR	PAINTED INSULATED METAL DOOR WITH HOLLOW METAL FRAME - SHERWIN WILLIAMS SATIN ENAMEL "TRICORN BLACK" #SW6258
N	CULTURED STONE VENEER - CENTRA BROWN STONE PLASTIC BROWN #900-200-25	RUSTIC BROWN - DRYSTACK LOCK - MORTAR TO BE AS RECOMMENDED BY THE BROWN MFR.
N'	STONE CAP - CENTRA WATER FROG - CENTURION STONE #875	RUSTIC BROWN - DRYSTACK LOCK - MORTAR TO BE AS RECOMMENDED BY THE BROWN MFR.
P	DECORATIVE E.L.F.S. STAR	3/4" V GROOVE AT PERIMETER OUTLINE TO CREATE EACH STAR - FINE PEBBLE FINISH - SHERWIN WILLIAMS "BALANCED BEIG" #SW7037
P'	DECORATIVE F.L.F.S. STAR	3/4" V GROOVE OUTLINE TO CREATE EACH STAR - FINE PEBBLE FINISH - SHERWIN WILLIAMS "DOVETAIL" #SW7018
R	WINDOW FILM	SUPPLIED BY HED AND INSTALLED BY SIGN INSTALLER
S	ROOF ACCESS LADDER	PAINT TO MATCH ADJACENT STUCCO WALL
T	GAS SERVICE PIPE & METER	PAINT TO MATCH ADJACENT STUCCO WALL - CONFIRM LOCAL UTILITY REQUIREMENTS
U	ELECTRIC SERVICE CABINET, METER AND CONDUIT	PAINT TO MATCH ADJACENT STUCCO WALL - CONFIRM LOCAL UTILITY REQUIREMENTS
V	META. PEDESTALIAN IRONIC GUARD	PAINT SATIN ENAMEL SHERWIN WILLIAMS "TRICORN BLACK" #SW 6258
W	DUMPSTER ENCLOSURE INTERIOR, FITTINGS (SEE SD SHEET 5)	DUMPSTER DOORS, HARDWARE AND INSIDE DUMPSTER ENCLOSURE TO BE PAINTED LOW GLOSS BLACK. USE BENJAMIN MOORE ALLOY DTM #2-80 ON ALL METAL SURFACES. USE ACRYLIC PAINT ON CURB SURFACES. SUBSTITUTION IS SHERWIN WILLIAMS INDUSTRIAL ENAMEL - LOW GLOSS BLACK. PAINT METAL DOORS, FRAMES, ETC. BLACK. GATES TO BE PAINTED W/ (3) COATS PAINT OVER (1) COAT PRIMER.

NOTES:
 1. PREPARE ALL SURFACES TO BE PAINTED AS PER MANUFACTURER'S RECOMMENDATIONS.
 2. TEST SHERWIN WILLIAMS PAINT COLORS TO DRYVET MANUFACTURERS STANDARD COLOR BOARD SAMPLES - ADJUST PAINT COLORS AS REQUIRED TO MATCH.
 SW IF CUSTOM - ONE GALLON ULTRA EXTERIOR SATIN ENAMEL.
 CCACO GRANT 02 32 64 128
 W1 - WHITE 4 1
 L1 - BLUE 2 1
 R2 - MAROON 37 1
 R3 - MAGENTA 2 20 1
 3. USE 4CHSFACT E1.5. REINFORCEMENT MESH TO 3'-0" ABOVE SLAB TOP OF FIRM BAND A1.

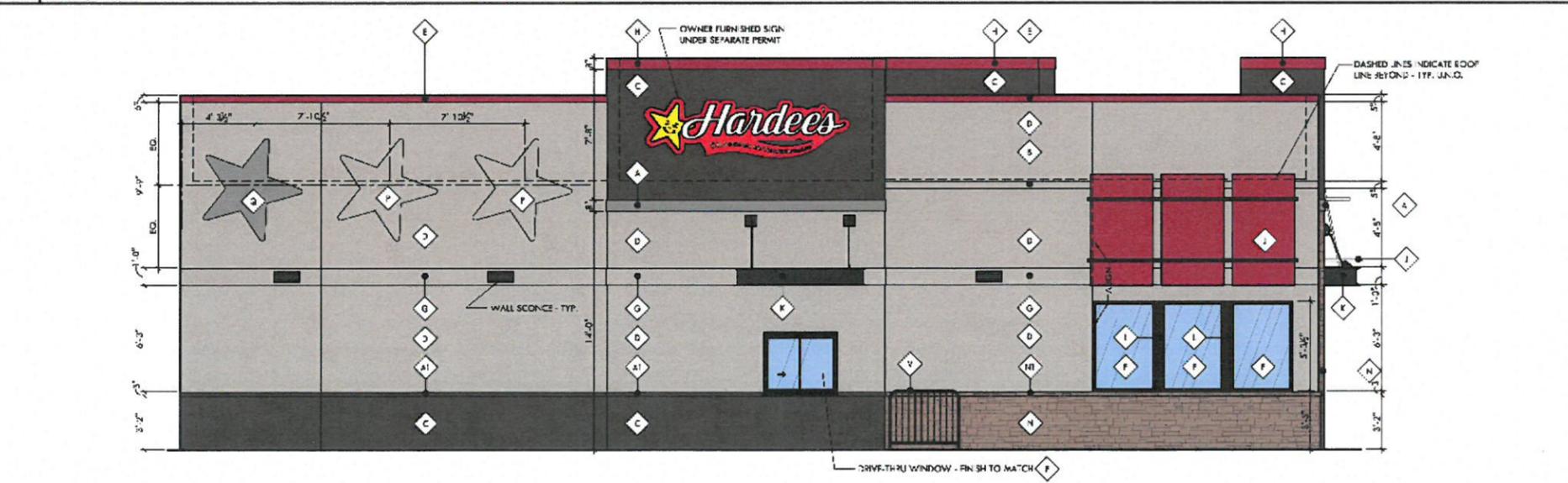
EXTERIOR FINISH SCHEDULE



8 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

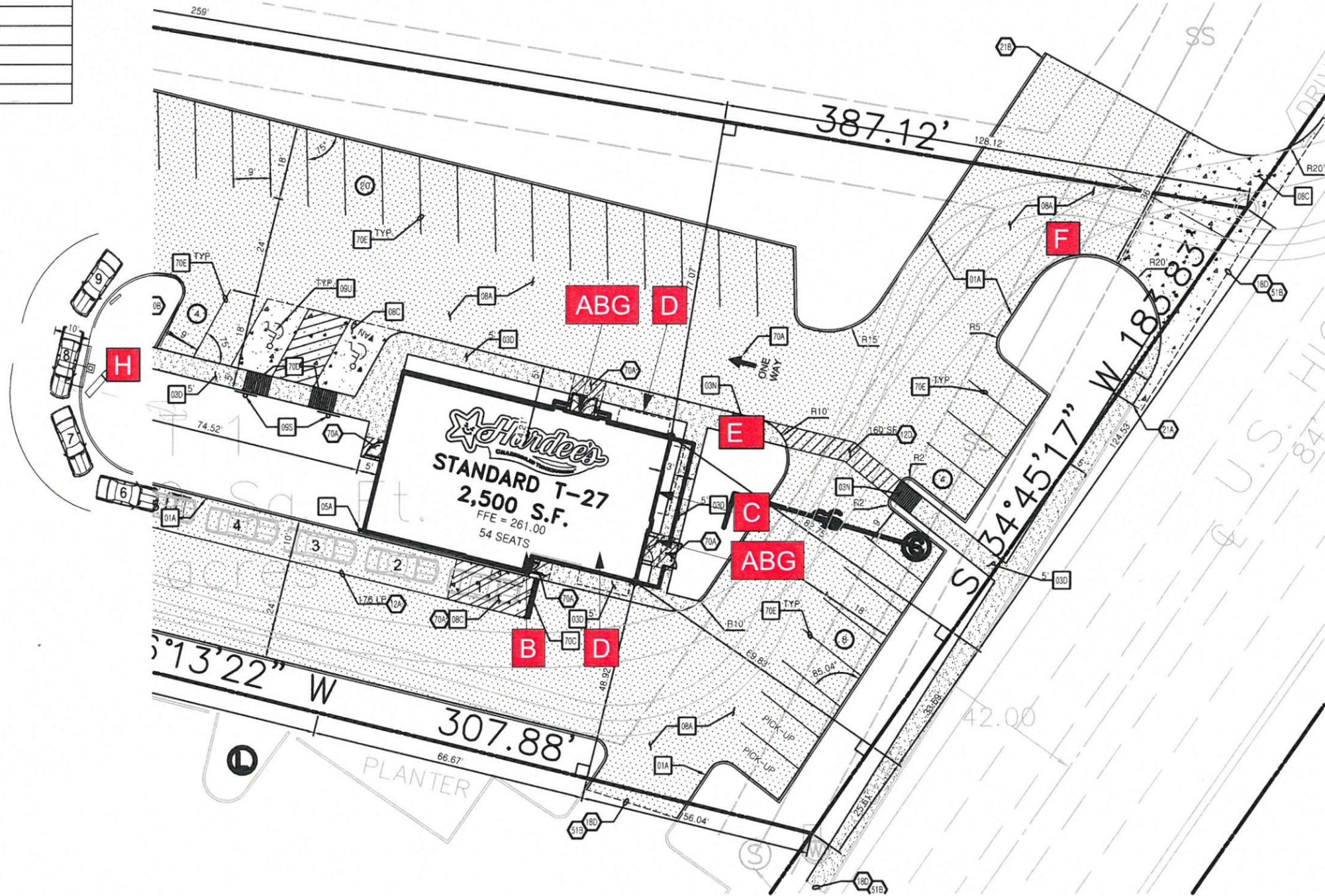


14 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



19 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

A	36X120 Wall Cabinet
B	94" Canopy
C	78"x194" Awning
D	78"x144" Awning
E	Flag Pole
F	Pylon
G	Door Vinyl
H	OCB Drive Thru Canopy



APPROVAL INFORMATION & CONFIRMATION

Proof is approved. Proceed with production of order.
 Proof is approved with corrections. Make corrections as indicated and proceed with production of order

SIGNATURE _____ PRINT NAME _____ DATE _____

I have reviewed this proof in regard to: Sign type; order quantity; and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).

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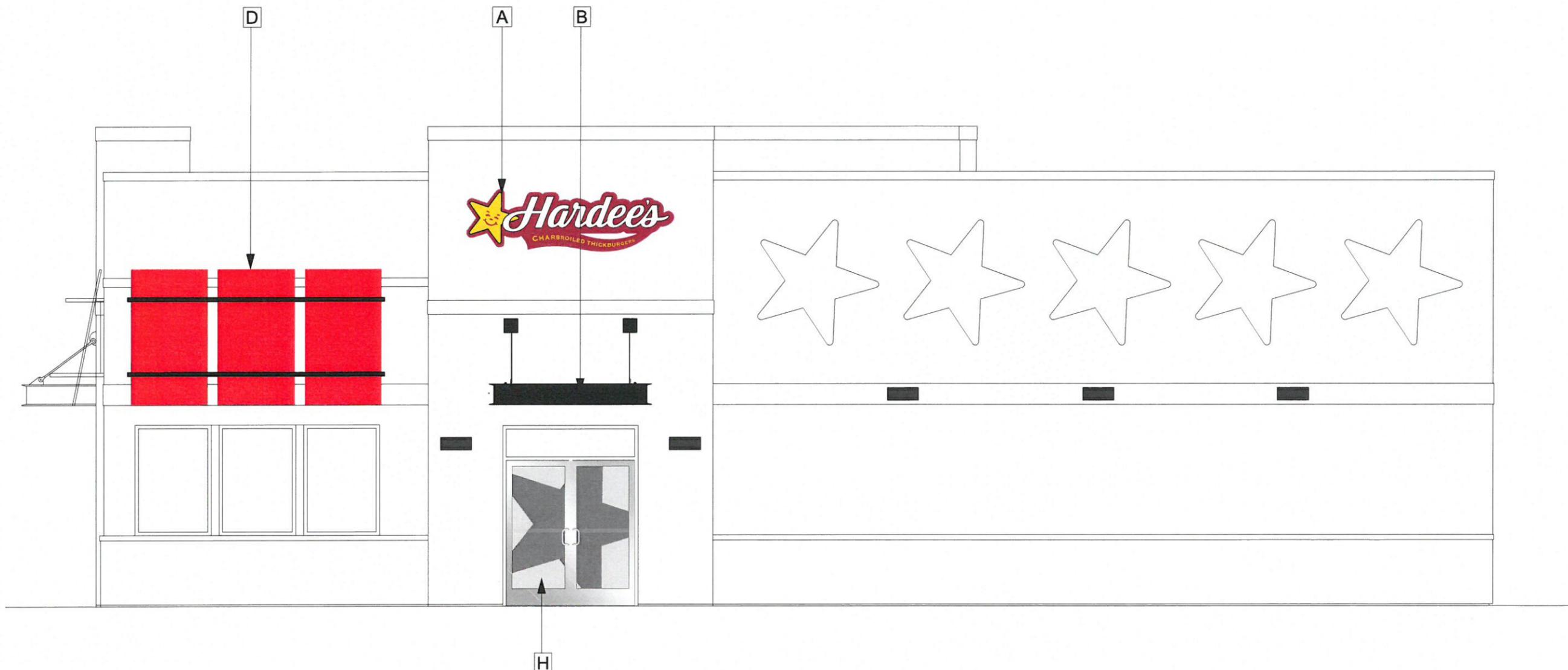
Client: Hardee's
 Location: _____
 Drawn By: CM Date: 12/19/14
 Approved By: _____
 Sheet: _____ Scale: _____
 File: z/corprest/hardees/MillingtonTN/SitePlan



SIGN COMPANY LLC.

731-925-4448 • 800-953-3744 • Fax 731-926-2022
www.designteam.net

A	36" Wall Sign
B	94" Canopy
D	78"x144" Metal Awnings
H	Door Vinyl



APPROVAL INFORMATION & CONFIRMATION

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Client: Hardee's

Location: _____

Drawn By: CM Date: 12/19/15

Approved By: _____

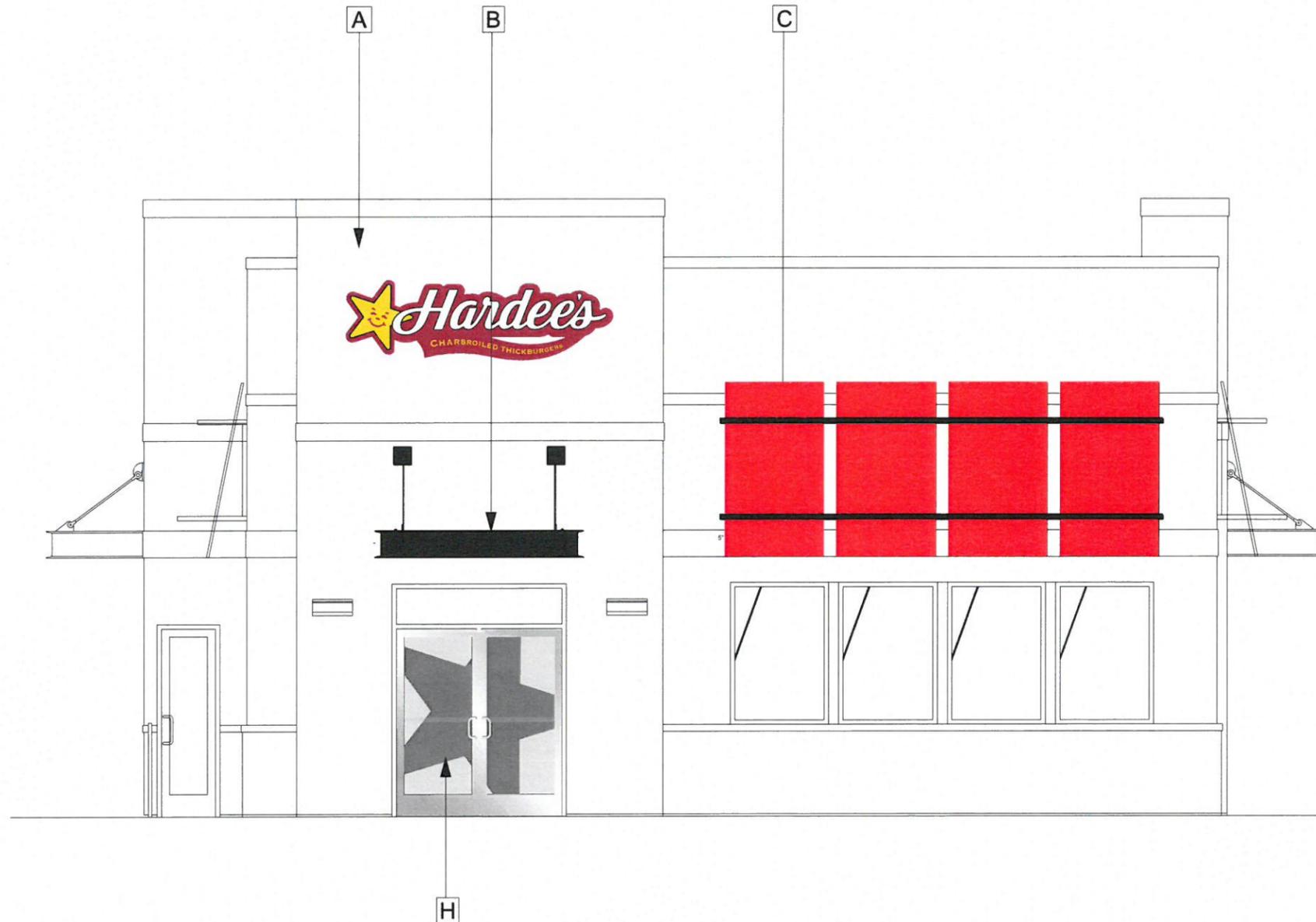
Sheet: _____ Scale: _____

File: z/corprest/Hardees/MillingtonTN/Front

Design Team
SIGN COMPANY LLC.

731-925-4448 • 800-953-3744 • Fax 731-926-2022
www.designteam.net

A	36" Wall Sign
B	94" Canopy
H	Door Vinyl
C	78"x194" Metal Awnings



APPROVAL INFORMATION & CONFIRMATION

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I have reviewed this proof in regard to: Sign type; order quantity; and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).

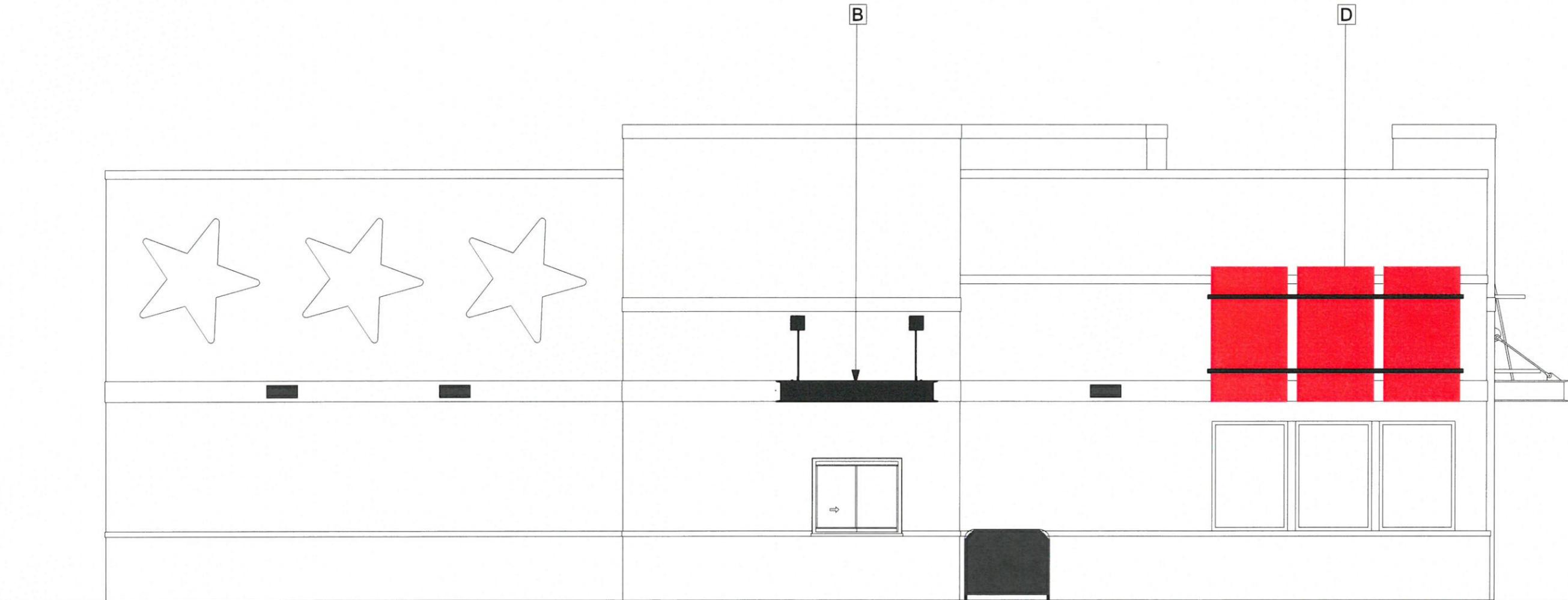
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Client:	Hardee's	
Location:		
Drawn By:	CM	Date: 12/19/15
Approved By:		
Sheet:	Scale:	
File:	z/corprest/Hardees/MillingtonTN/Front	

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B	94" Canopy
D	78"x144" Metal Awnings



APPROVAL INFORMATION & CONFIRMATION

Proof is approved. Proceed with production of order.
 Proof is approved with corrections. Make corrections as indicated and proceed with production of order

SIGNATURE _____ PRINT NAME _____ DATE _____

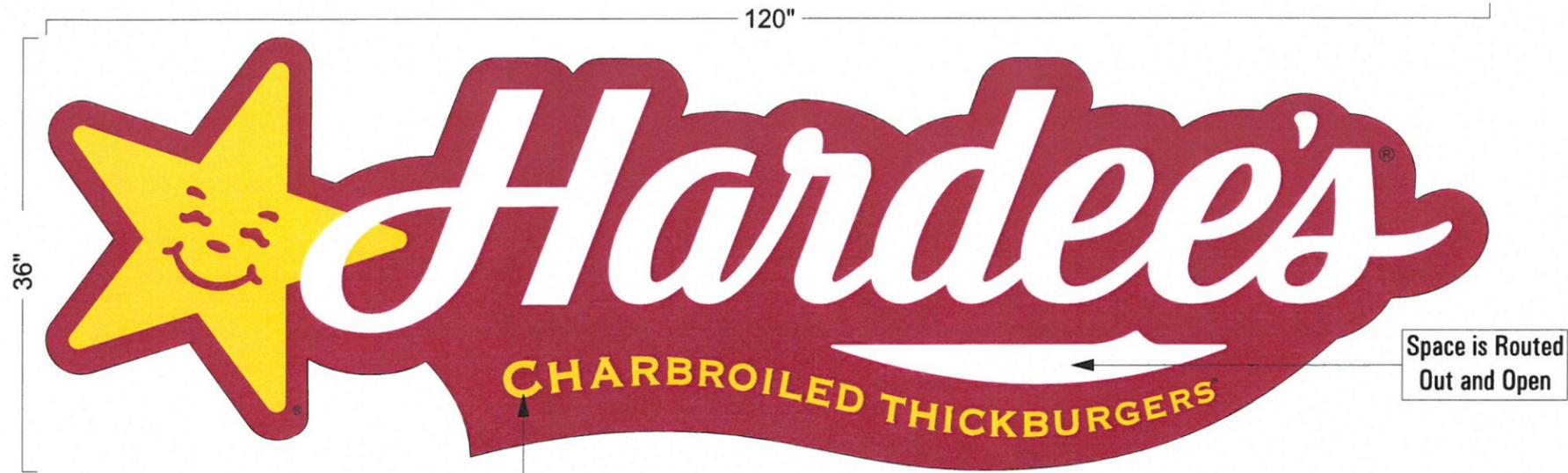
I have reviewed this proof in regard to: Sign type; order quantity; and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).

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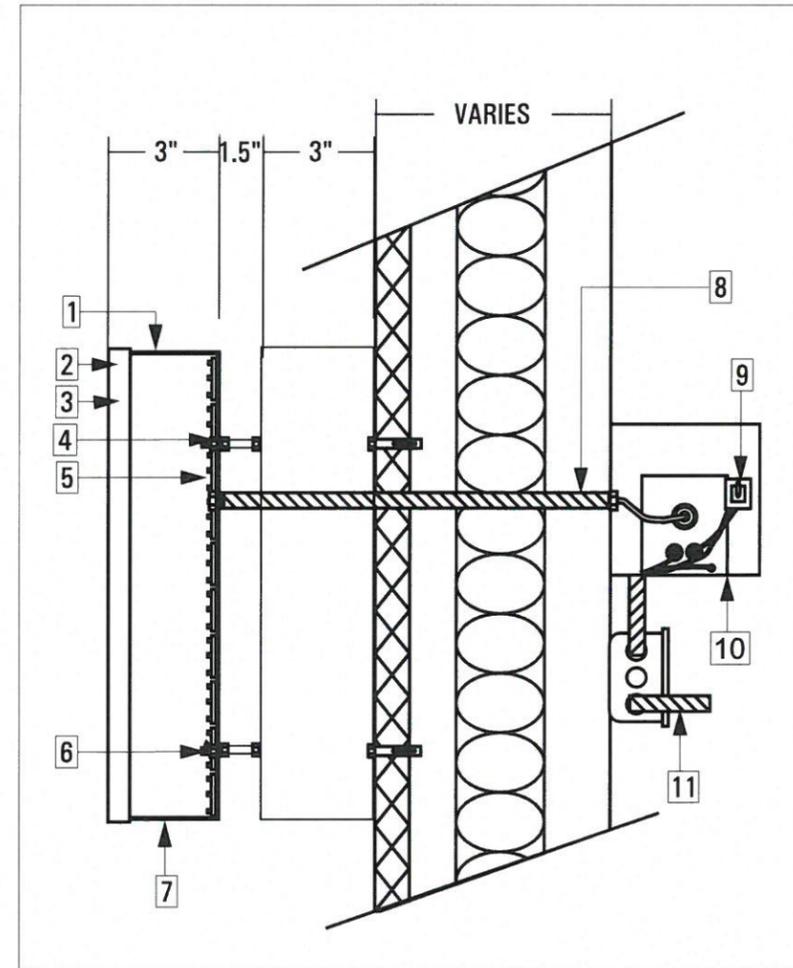
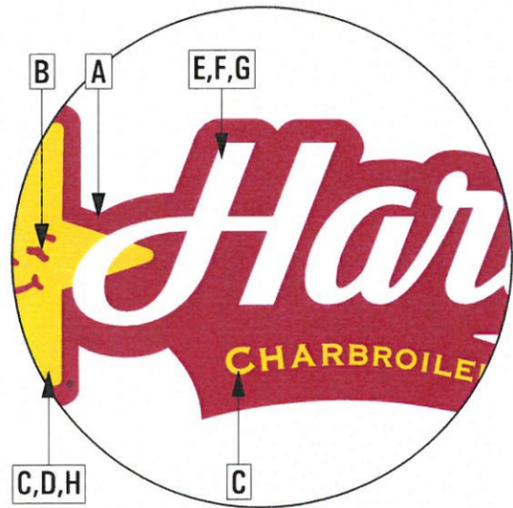


Client: Hardee's
 Location: _____
 Drawn By: CM Date: 12/19/14
 Approved By: _____
 Sheet: _____ Scale: _____
 File: z/corprest/Hardees/MillingtonTN/DriveThru

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Routed Letters
Backed with Acrylic
with 3630-015 Yellow
Vinyl



Materials

1	.050 Aluminum Returns
2	1" Trimcap
3	3/16" Acrylic Face
4	Clear Acrylic Back
5	LED Module
6	Mounting Hardware
7	1/4" Weep Hole
8	1/2" Flex Conduit
9	Toggle Switch Mounted to Box
10	Power Supply
11	Primary Electrical Leads
12	Alum. Backer Cabinet

Colors & Finishes

A	Paint to Match 3M 3630-73 Red
B	3M 3630-73 Red
C	3M 360-015 Yellow Vinyl
D	1" Yellow Trimcap
E	7328 White Acrylic Faces
F	1" White Trimcap
G	Painted Silver Returns
H	Painted to Match 3630-015

Rev # 1 -
Rev # 2 -
Rev # 3 -
Rev # 4 -
Rev # 5 -
Rev # 6 -

Notes

Logo to be Verified Prior to Production.



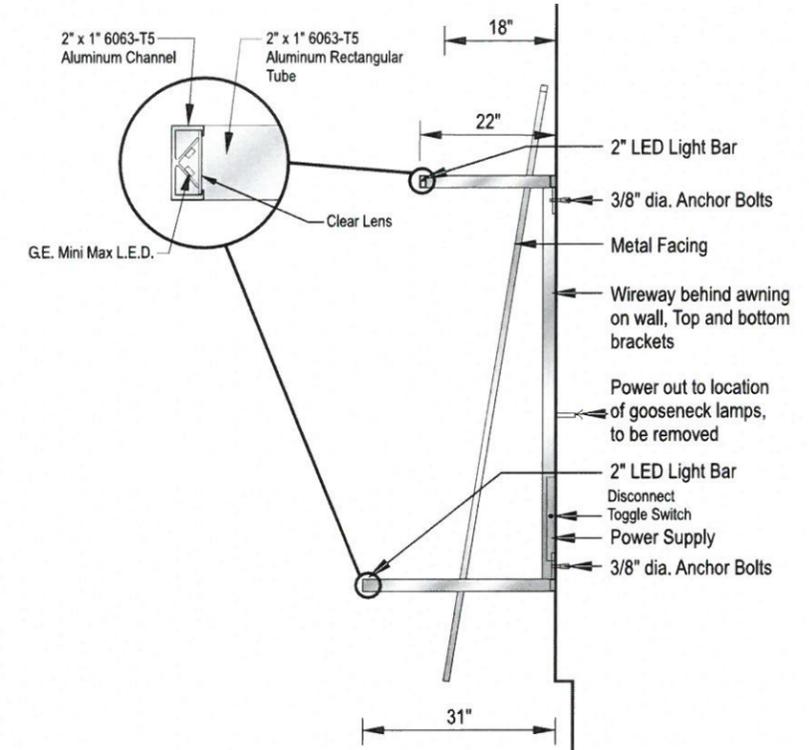
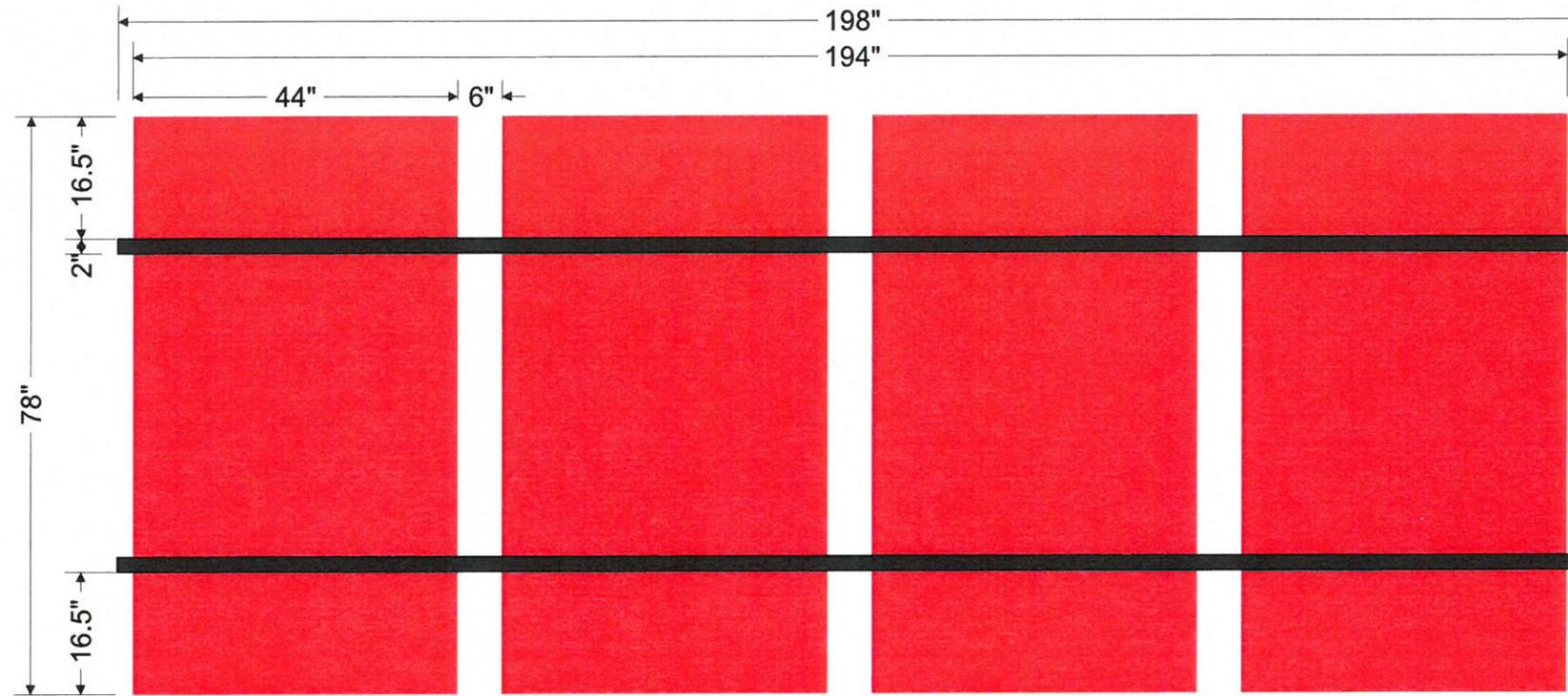
Designer: CM	Date: 10-28-15
Client: Hardee's	
File Path: Z/Restaurant/Hardee's	

- Proof Is Approved. Proceed With Production Of Order
- Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
 I have reviewed this proof in regard to: Sign type, order quantity, and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).
 Print Name: _____
 Date: _____

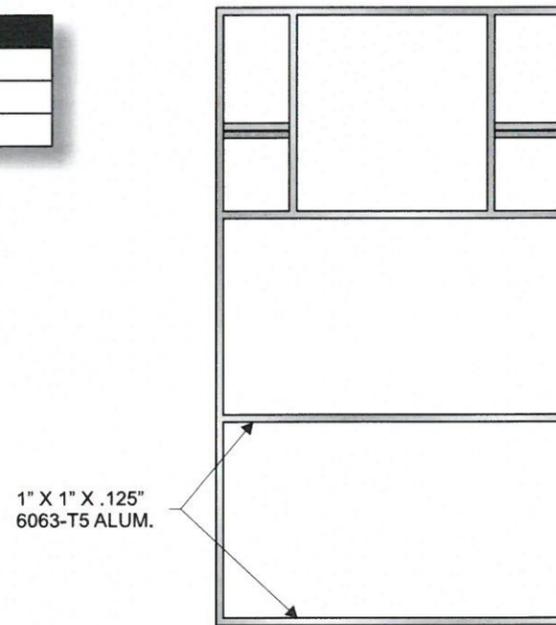


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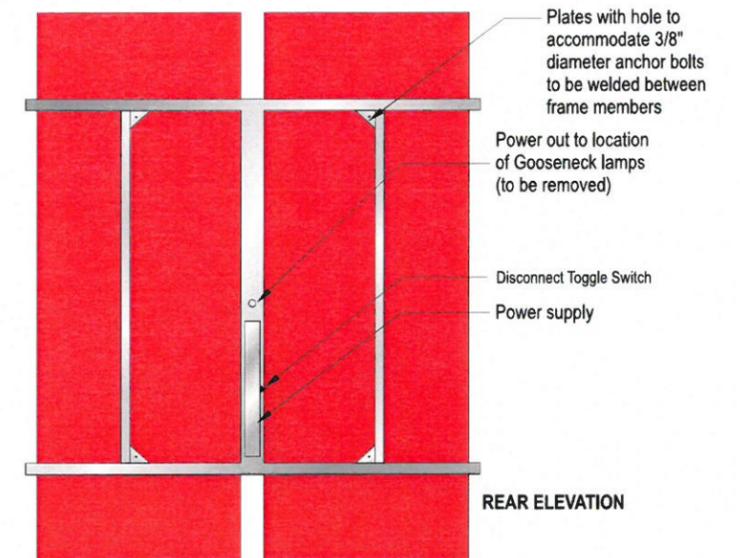
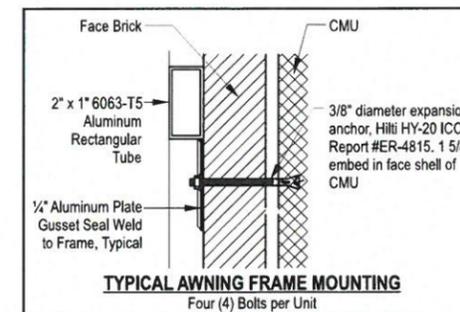


SIDE AWNING SECTION
Scale: Not to Scale

COLOR SCHEDULE	
	Tiger Drylac RAL-3000 Red
	Tiger 038-00088 Clear Matte Topcoat
	Matte Black



PANEL FRAME DETAIL



REAR ELEVATION

APPROVAL INFORMATION & CONFIRMATION

Proof is approved. Proceed with production of order.
 Proof is approved with corrections. Make corrections as indicated and proceed with production of order.

SIGNATURE _____ PRINT NAME _____ DATE _____

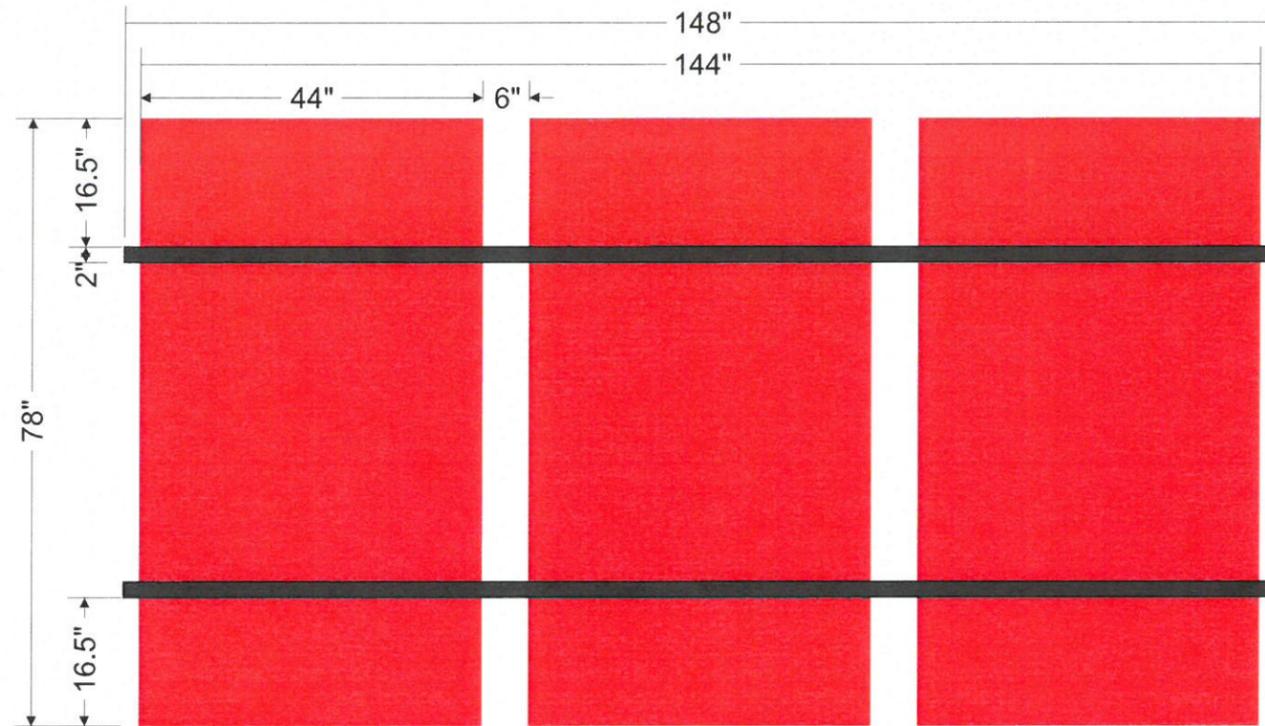
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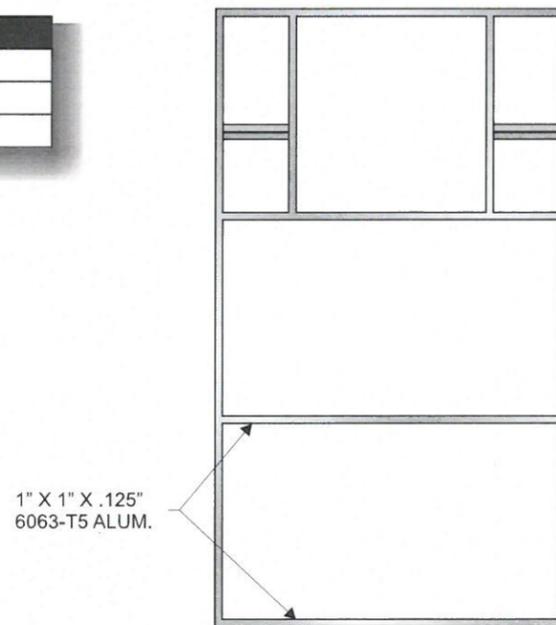


Client: Hardees
 Location: _____
 Drawn By: TH Date: 11/24/14
 Approved By: _____
 Sheet: _____ Scale: _____
 File: CorpRest/Hardees/Spec/Grph/Awn/Light/78x198

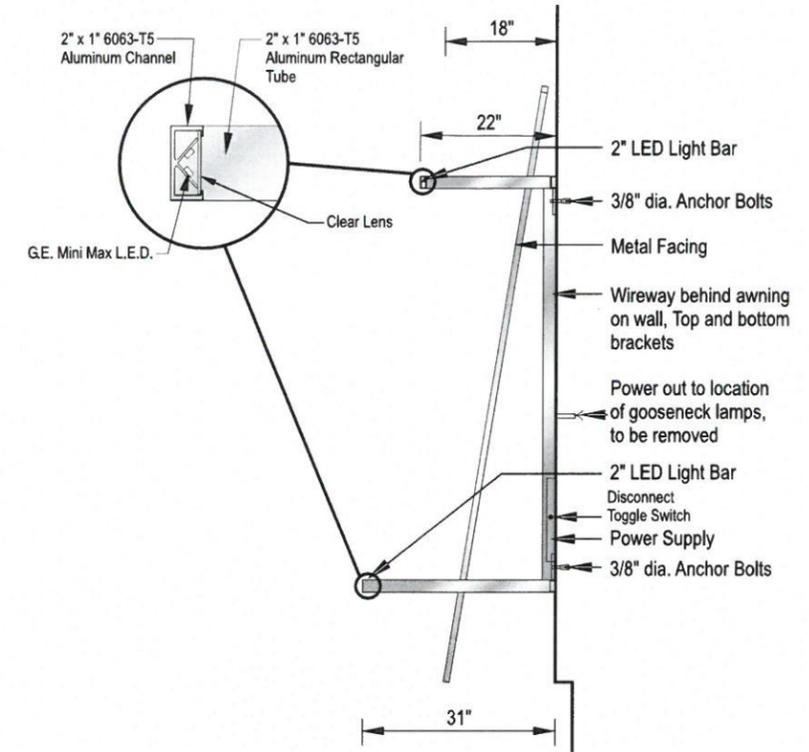
731-925-4448 • 800-953-3744 • Fax 731-926-2022
 www.designteam.net



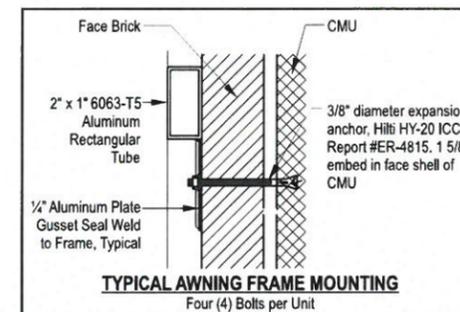
COLOR SCHEDULE	
	Tiger Drylac RAL-3000 Red
	Tiger 038-00088 Clear Matte Topcoat
	Matte Black



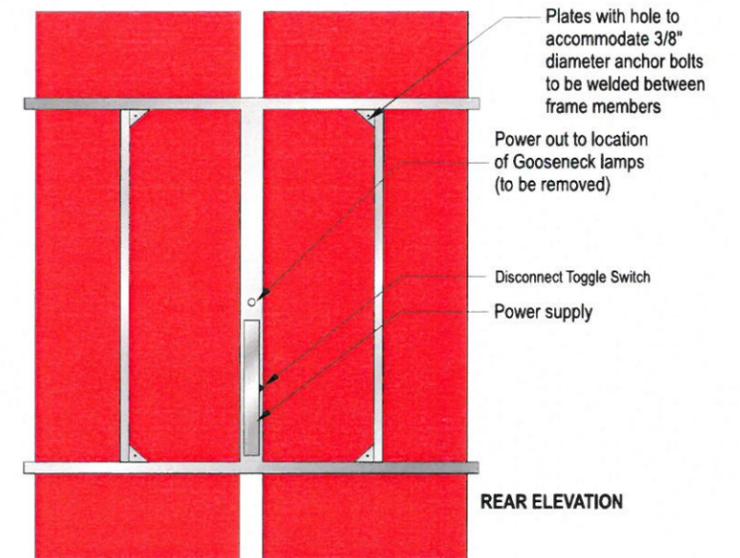
PANEL FRAME DETAIL



SIDE AWNING SECTION
Scale: Not to Scale



TYPICAL AWNING FRAME MOUNTING
Four (4) Bolts per Unit



REAR ELEVATION

APPROVAL INFORMATION & CONFIRMATION

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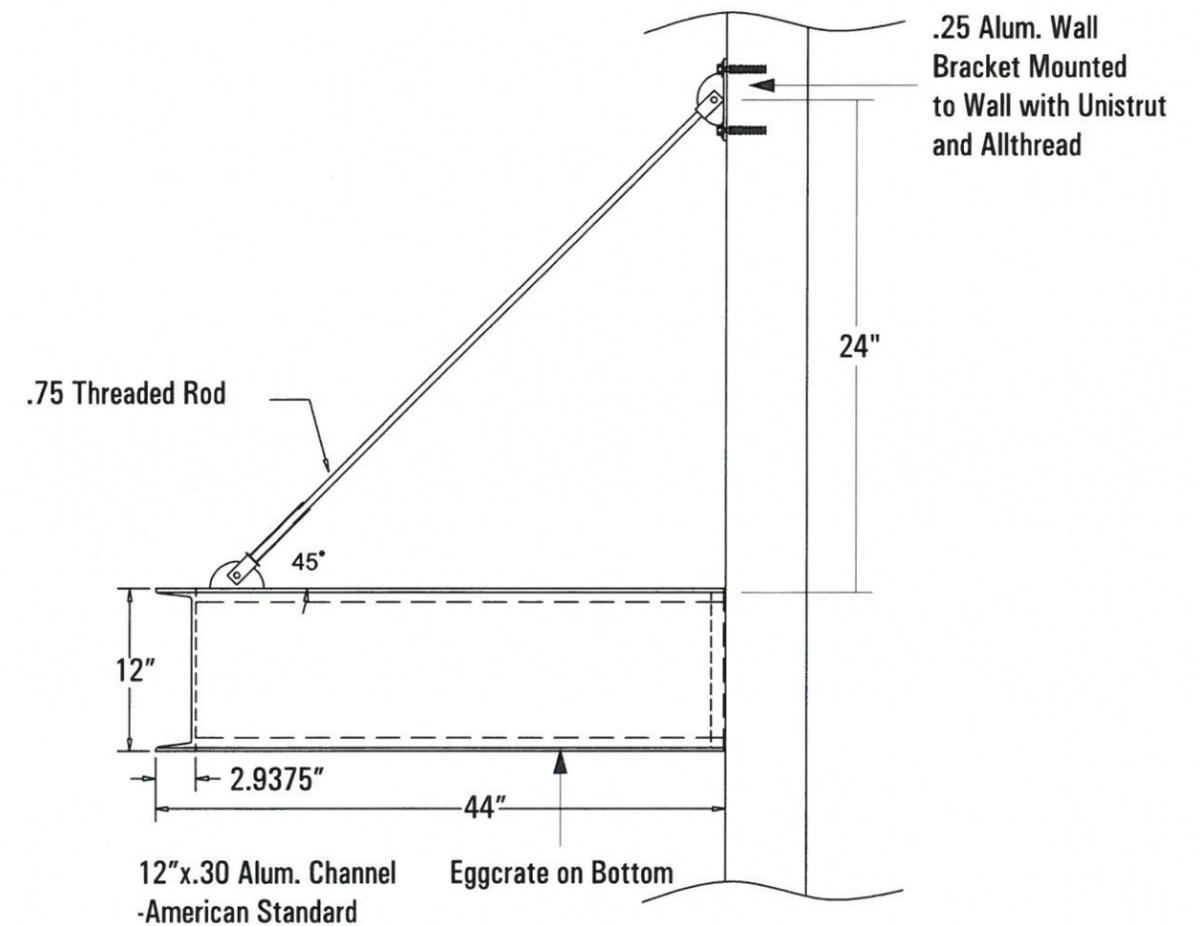
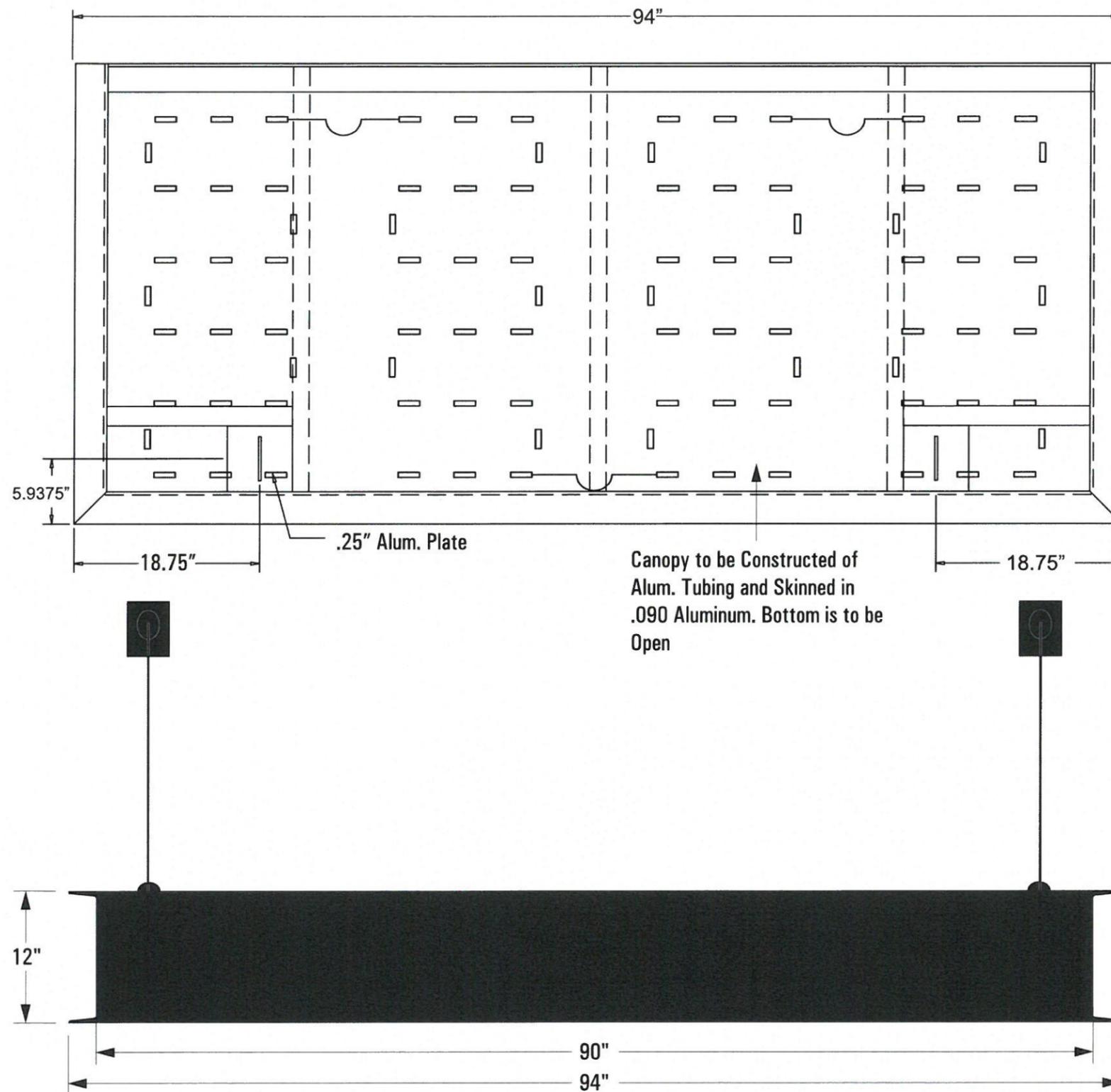


Client: Hardees
 Location: _____
 Drawn By: TH Date: 11/24/14
 Approved By: _____
 Sheet: _____ Scale: _____
 File: CorpRest/Hardees/Spec/Grph/Awn/Light/78x198



Cantilever Awning

Colors & Finishes	
A	Painted Matte Black



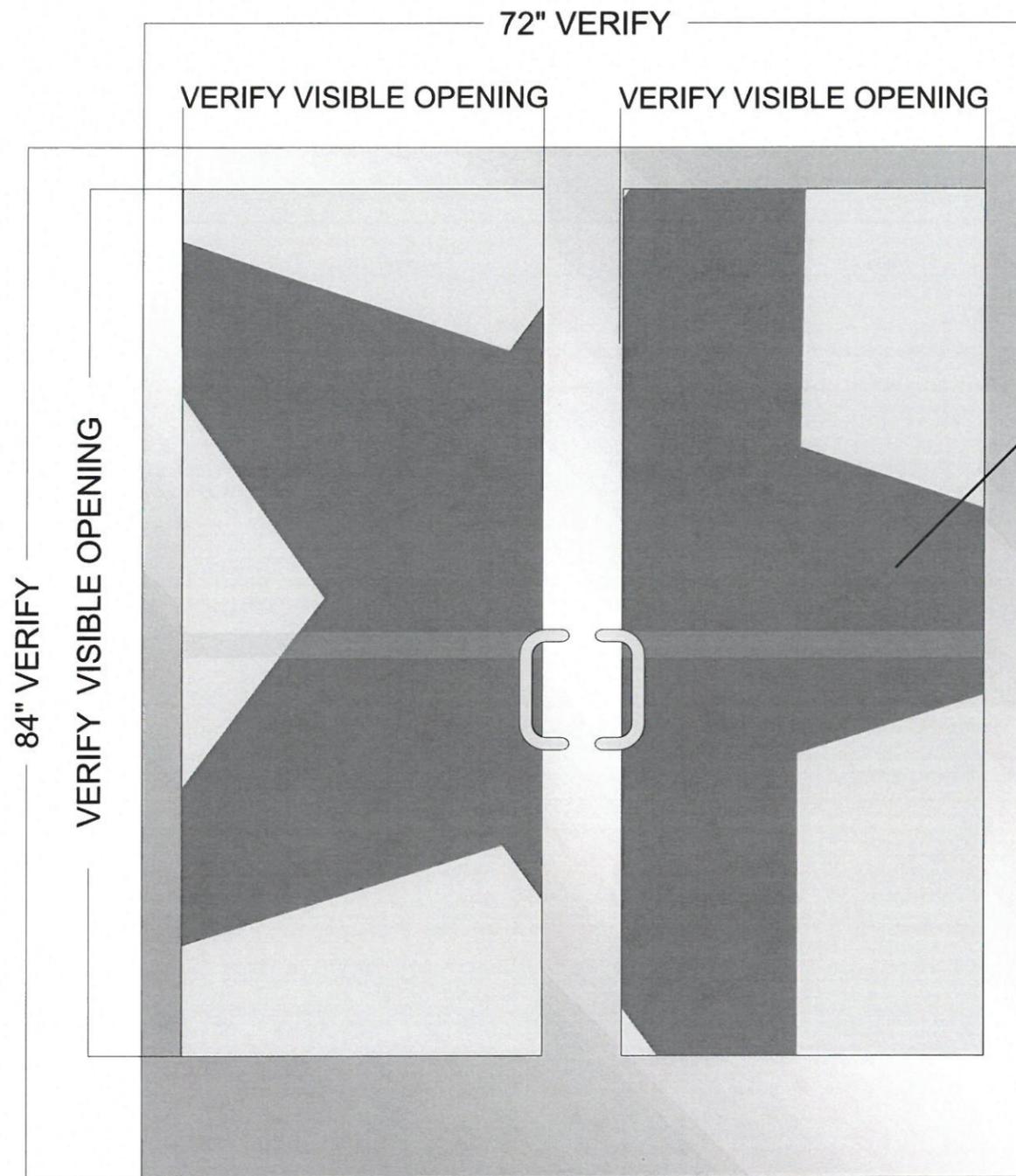
Designer: CM	Date: 10-28-15
Client: Hardee's - Saddle Peak	
File Path: Z/Restaurant/Hardee's	

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3M #7725SE-314 DUSTED CRYSTAL VINYL APPLIED 1ST SURFACE

ALL AREAS WITHIN STAR PATTERN TO BE CLEAR GLASS.

APPROVAL INFORMATION & CONFIRMATION

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Client: HARDEE'S
 Location: _____ Date: _____
 Drawn By: CF
 Approved By: XX
 Sheet: 1/1 Scale: _____
 File: _____



SIGN COMPANY LLC.

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 www.designteam.net



POLE COVER GLOSS BLACK ACM

POLE SIZES TO BE DETERMINED BY ENGINEERING

	CLEAR POLYCARBONATE
	MATCH PROCESS BLACK (GLOSS)
	3M 3630-73 DARK RED
	3M 3630-015 YELLOW

Specifications:
Hardee's .177" Clear Solar Grade Polycarbonate, Pan-formed Embossed Faces. Copy and Star to be Embossed Sub-copy is Flat. All Colors to be Applied 2nd Surface Cabinet to be Constructed from Alum. Painted Gloss Black
Readerboard
 .177 Clear Solar Grade Polycarbonate Pan-Formed Faces. Zip Change Letter Track to be Bonded to Front of Faces. 6" Letters on 6.25" space Cabinet to be Constructed from Alum. Painted Gloss Black



APPROVAL INFORMATION & CONFIRMATION

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Proof is approved with corrections. Make corrections as indicated and proceed with production of order

SIGNATURE _____

PRINT NAME _____

DATE _____

I have reviewed this proof in regard to: Sign type; order quantity; and accuracy of icons, symbols, and text (e.g. spelling capitalization, punctuation).



Client: Hardee's

Location: _____

Drawn By: CM Date: 9/2/14

Approved By: _____

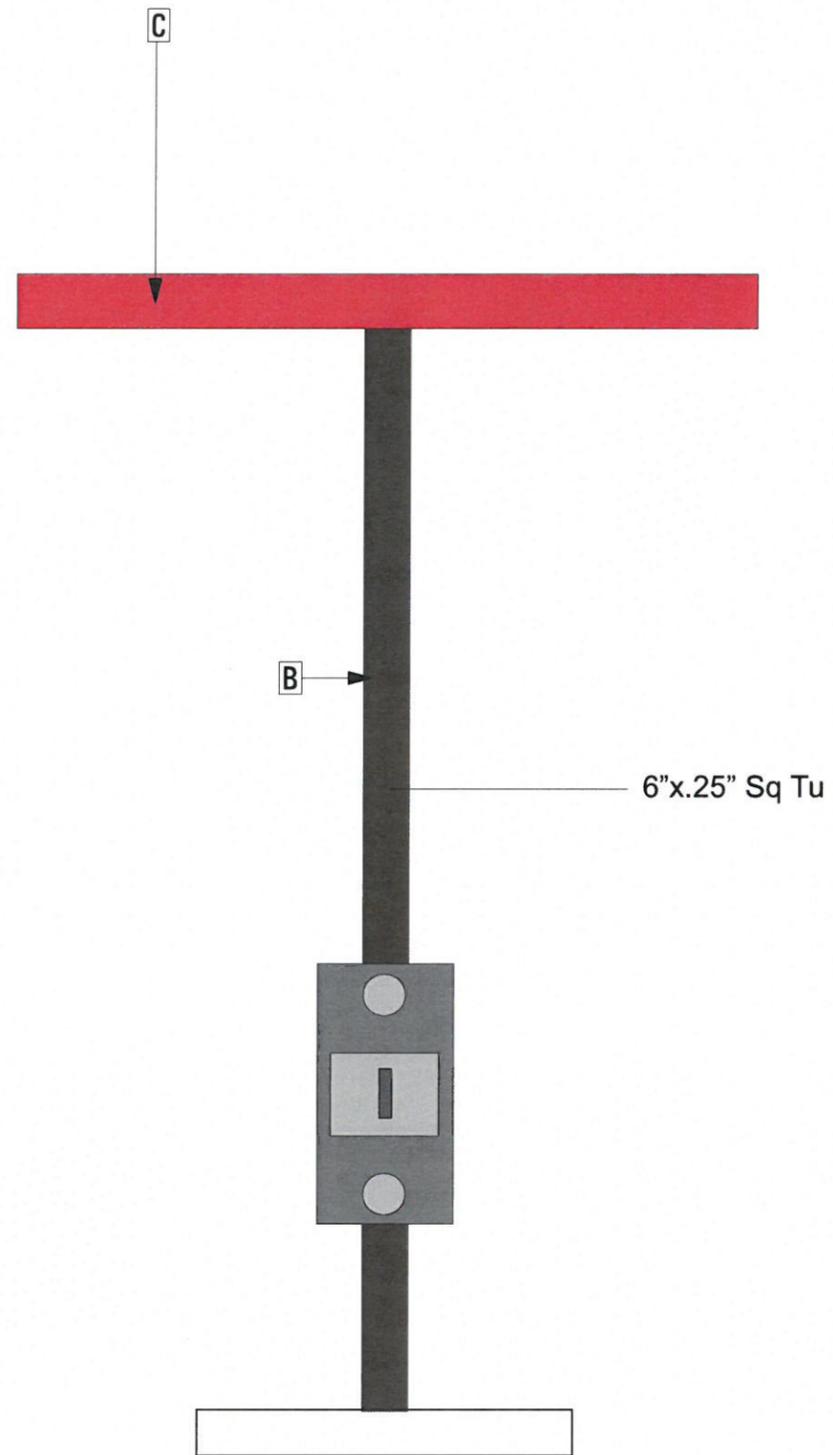
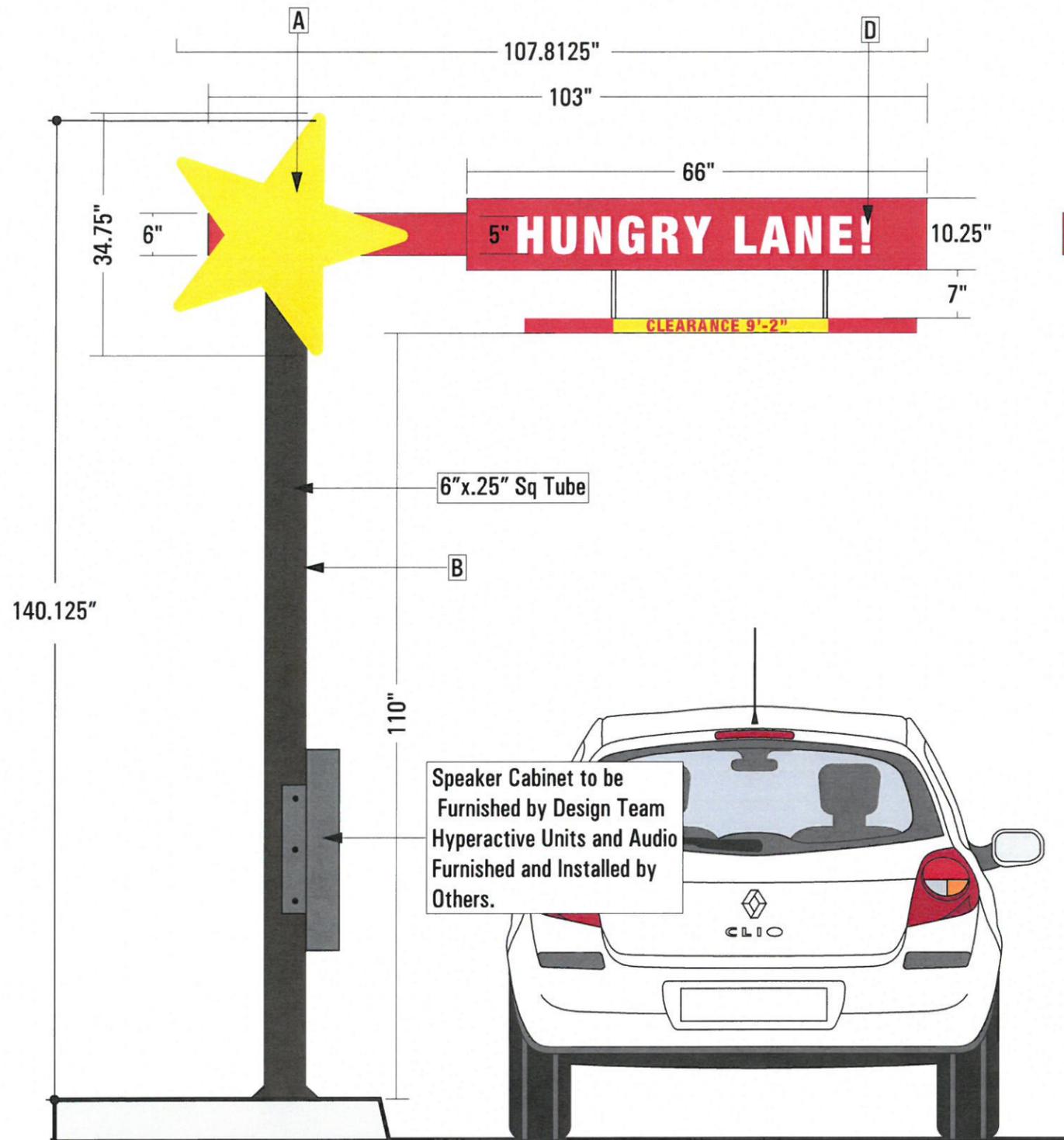
Sheet: _____ Scale: _____

File: CORP/hardees/Millington/TN/Pylon



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Materials	
1	Routed .125 Alum. Star
2	Routed Alum. With 1st Surface Vinyl
3	PVC Bang Bar Suspended with Chains
4	2"x5"x.25 Structural Arm
5	Alum Tube With .090 Alum Skins
6	Illuminated With White LED

Colors & Finishes	
A	Painted Yellow
B	SW 7020 Black Fox
C	SW 6866 Heartthrob
D	Opaque White Vinyl

Rev # 1 -
Rev # 2 -
Rev # 3 -
Rev # 4 -
Rev # 5 -
Rev # 6 -

Notes

Speaker Cabinet to be Furnished by Design Team Hyperactive Units and Audio Furnished and Installed by Others.



Designer: CM	Date: 10-28-15
Client: Hardee's	
File Path: Z/Restaurant/Hardee's	

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Millington Planning and
Economic Development
Department
4836 Navy Road, Suite #2
Millington, TN 38053
901-872-3410 Fax: 901-872-3141
dbaskin@cityofmillington.org

**Application for Site Plan Approval
to the Millington Planning Commission**

Site Name HARDEE'S - MILLINGTON
Site Location 8523 W6 HIGHWAY 51 NORTH
Subdivision Name (if applicable) _____

Owner/Developer Contact DAVID HUTCHESON Phone 615.598.0359
Company Name SADDLE PEAK, LLC. Fax _____
Address 386 DAVIDS WAY - LAVERGNE, TN 37086

Engineer Contact JAI ME KEMP Phone 479.273.9472
Company Name CEI ENGINEERING Fax 479.273.0844
Address 3108 SW REGENCY PKWY, #2 - BENTONVILLE, AR 72712

Architect Contact SHAWN VANCE Phone 314.721.1340. x111
Company Name EPOCH DESIGN GROUP Fax 314.721.0344
Address 1155 OLIVETTE EXECUTIVE PKWY, #100 - ST. LOUIS, MO 63132

Submitted by SHAWN VANCE Shawn Vance 05/09/16
(printed name) (signature) (date)

- Attach a completed "Site Plan Checklist" and all items required therein.
- SN Acknowledge (initial blank to the left) that the Ordinance for Design Plan Review has been obtained and read prior to submitting this application. **(Municipal Ordinance 14-1201 / Section 3)**
- Include a fee of \$200.00, for first 4 acres, plus \$1.00 per lot for each lot over 10, with this application. **(Check payable to the City of Millington).**

Information to be entered by City staff only

Resubmittals

(See Planning and Zoning Ordinance: Chapter 12, Section 14-1201)

Resubmittal Description	Required Submittal Date/Time	Staff Initials
	a.m./p.m. on _____	

Millington Planning and
Economic Development
Department
4836 Navy Road, Suite #2
Millington, TN 38053
901-872-3410 Fax: 901-872-3141
dbaskin@cityofmillington.org

Site Plan Checklist

The applicant shall either indicate that the following items have been completed by a check (✓) or that they are not applicable (n/a).

Requirements:

- Name & Address of proposed Development including S/D phases and lots (if applicable)
- Name, address, and phone number of owner of record and the applicant
- Scale of not less than 1"= 100"
- Present Zoning of the site and abutted property
- Date, and north point with reference to source of meridian
- Courses and distances of center lines of all streets (including names)
- All building restricting lines, highway setback lines, easements, covenants, reservations, and right-of-way
- The total land area
- Topography of existing ground, and paved areas and elevations of streets, alleys, utilities, sanitary and storm sewers and buildings and structures. Topography to be shown by dashed line illustrating, two-foot contours and spot elevations where necessary to indicate flat areas.
- Detailed stormwater management plan meeting all requirements of "City of Millington Drainage Manual"
- Vicinity map showing the relationship of the proposed development to Millington

The site plan shall show the location of the following:

- Sidewalks, streets including names, curb cuts, alleys, easements, and utilities
- Building and structures
- Public sewer systems
- Slopes, terraces, and retaining walls
- Driveways, entrances, existing parking areas and sidewalks, and garbage collection site
- Water mains and fire hydrants.
- Trees and shrubs (including detailed descriptions and landscape plates)
- N/A Recreational areas and swimming pools
- Natural and artificial watercourses
- Limits of flood plains if any.
- Proposed grading, surface drainage terraces, retaining wall heights, grades on paving areas, and ground floor elevations of proposed buildings and structures
- Proposed topography site shall be shown by two or five foot contours as required by the city engineer
- N/A Distances between buildings